

East Richmond Heights Municipal Advisory Council Land Use Committee

Location and Mailing address: **11780 San Pablo Ave., Suite D, El Cerrito 94530**

This subcommittee reports to the full ERHMAC

Members: Thomas Janci, Joann Pavlinec

The East Richmond Heights Municipal Advisory Council (ERHMAC) or subcommittees of the ERHMAC will provide reasonable accommodation for persons with disabilities planning to attend ERHMAC meetings or ERHMAC subcommittee meetings. Please contact James Lyons at 510-231-8692 or james.lyons@bos.cccounty.us for more information.

A printed agenda will be available for review at the **Arlington Market**. Electronic copies are available for download at: <https://ca-contracostacounty2.civicplus.com/6805/East-Richmond-Heights-Municipal-Advisory>

AGENDA August 21, 2019 7:30 pm

Call to Order/Welcome/Roll Call

Discussion Items

The Land Use Subcommittee will review, discuss and make a recommendation to the Planner assigned to the following application:

D.1 – County File #DP18-3034

Adjournment:

Date 9/28/18

| DISTRIBUTION | | Please submit your comments to: | |
|--|---|---|--|
| <u>Internal</u> | | Project Planner <u>Syd Sotodok</u> | |
| <input checked="" type="checkbox"/> Building Inspection | <input type="checkbox"/> Grading Inspection | Phone # <u>925-1674-7815</u> | |
| <input type="checkbox"/> Advance Planning | <input type="checkbox"/> Housing Programs | E-mail <u>Sherric.Wayman</u> @dcd.cccounty.us | |
| <input type="checkbox"/> Trans. Planning | <input type="checkbox"/> Telecom Planner | County File # <u>DPI8-3034</u> | |
| <input type="checkbox"/> ALUC Staff | <input type="checkbox"/> HCP/NCCP Staff | Prior to <u>Oct. 19, 2018</u> | |
| <input type="checkbox"/> APC Floodplain Tech | <input type="checkbox"/> County Geologist | ***** | |
| <u>Health Services Department</u> | | We have found the following special programs apply to this application: | |
| <input checked="" type="checkbox"/> Environmental Health | <input type="checkbox"/> Hazardous Materials | <input type="checkbox"/> Active Fault Zone (Alquist-Priolo) | |
| <u>Public Works Department</u> | | <input type="checkbox"/> Flood Hazard Area, Panel # _____ | |
| <input type="checkbox"/> Engineering Services (Full-size) | <input type="checkbox"/> Traffic | <input type="checkbox"/> 60-dBA Noise Control | |
| <input type="checkbox"/> Flood Control (Full-size) | <input type="checkbox"/> Special Districts | <input type="checkbox"/> CA EPA Hazardous Waste Site | |
| <u>Local</u> | | ***** | |
| <input checked="" type="checkbox"/> Fire District <u>Contra Costa</u> | <input checked="" type="checkbox"/> Consolidated - (email) fire@cccfd.org | AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner. | |
| <input checked="" type="checkbox"/> Sanitary District <u>West Co. Wastewater</u> | <input checked="" type="checkbox"/> Water District <u>EBMUD</u> | Comments: <input type="checkbox"/> None <input type="checkbox"/> Below <input type="checkbox"/> Attached | |
| <input checked="" type="checkbox"/> City of <u>Richmond</u> | <input checked="" type="checkbox"/> School District(s) <u>West County Unified</u> | _____ | |
| <input type="checkbox"/> LAFCO | <input type="checkbox"/> Reclamation District # _____ | _____ | |
| <input type="checkbox"/> East Bay Regional Park District | <input type="checkbox"/> Diablo/Discovery Bay/Crockett CSD | _____ | |
| <input checked="" type="checkbox"/> MAC/TAC <u>East Richmond Heights</u> | <input type="checkbox"/> Improvement/Community Association | _____ | |
| <input checked="" type="checkbox"/> CC Mosquito & Vector Control Dist (email) | <u>Others/Non-local</u> | _____ | |
| <input type="checkbox"/> CHRIS - Sonoma State | <input type="checkbox"/> CA Fish and Wildlife, Region 3 - Bay Delta | _____ | |
| <input type="checkbox"/> Native American Tribes | <u>Additional Recipients</u> | _____ | |
| _____ | _____ | Print Name _____ | |
| _____ | _____ | Signature _____ DATE _____ | |
| _____ | _____ | Agency phone # _____ | |



Legend

- Legend

1:564



Notes

Notes

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION
current, or otherwise reliable.

Zoning: R-6



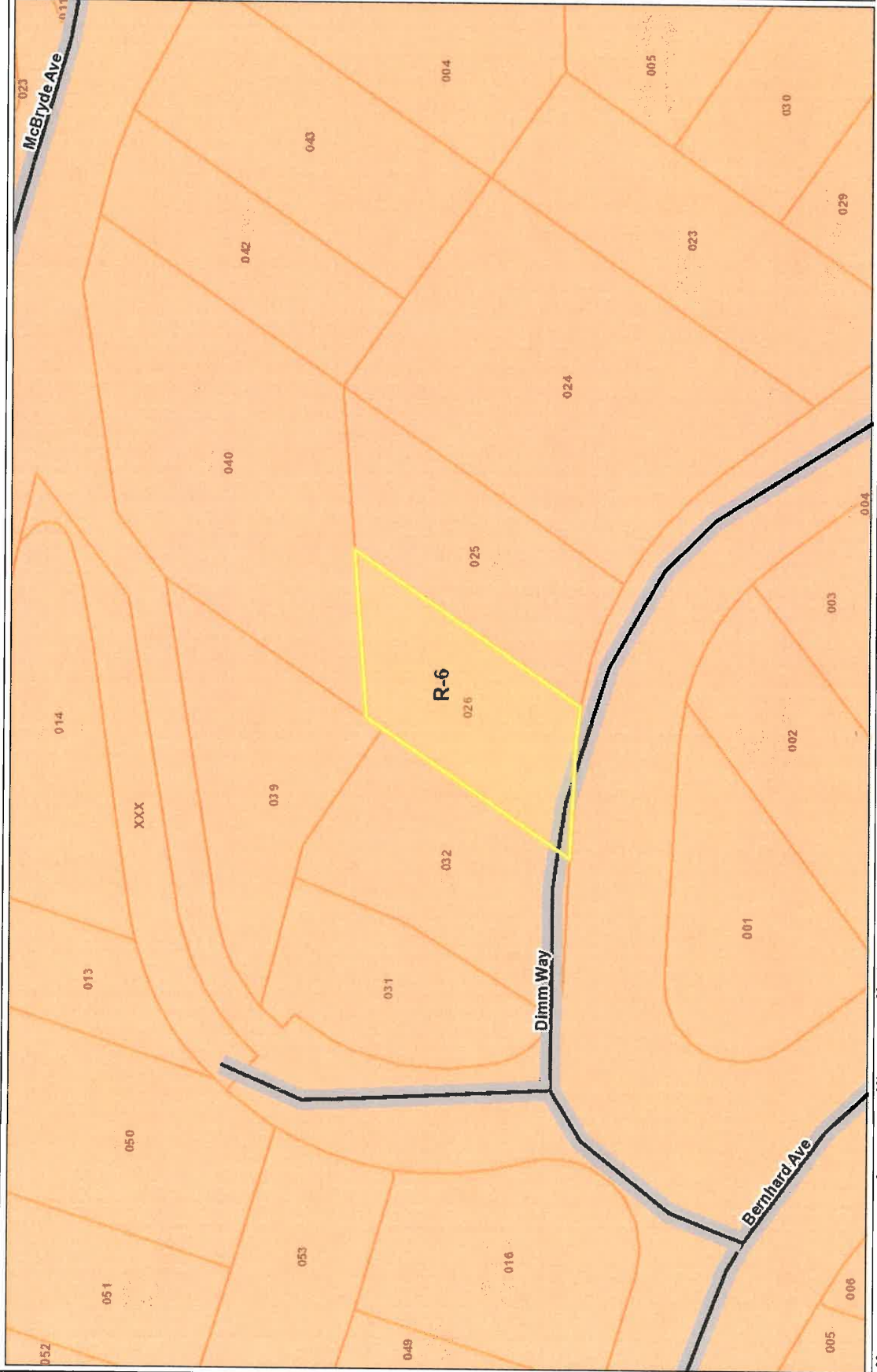
Legend

- Highways
- Highways Bay Area
- Streets
- Zoning
 - R-6 (Single Family Residential)
 - R-6-FH (Single Family Residential - Combining District)
 - R-6-FH-UE (Single Family Residential - Urban Farm Animal Exclusion Combining District)
 - R-6-SD-1 (Single Family Residential - Hillsides Development Combining District)
 - R-6-TOV-K (Single Family Residential - View Ordinance and Kensington Combining District)
 - R-6-UE (Single Family Residential - Urban Farm Animal Exclusion Combining District)
 - R-6-X (Single Family Residential - Combining District)
 - R-7 (Single Family Residential)
 - R-7-X (Single Family Residential - Combining District)
 - R-10 (Single Family Residential)
 - R-10-UE (Single Family Residential - Urban Farm Animal Exclusion Combining District)
 - R-12 (Single Family Residential)
 - R-15 (Single Family Residential)
 - R-20 (Single Family Residential)
 - R-20-UE (Single Family Residential - Urban Farm Animal Exclusion Combining District)
 - R-40 (Single Family Residential)
 - R-40-FH (Single Family Residential - Combining District)
 - R-40-FH-UE (Single Family Residential - Urban Farm Animal Exclusion Combining District)
 - R-40-UE (Single Family Residential - Urban Farm Animal Exclusion Combining District)
 - R-65 (Single Family Residential)
 - R-100 (Single Family Residential)
 - D-1 (Two Family Residential)
 - D-1-T (Two Family Residential - Tripartite District)
 - D-1-UE (Planned Unit - Urban Farm Animal Exclusion Combining District)
 - M-12 (Multiple Family Residential)
 - M-12-FH (Multiple Family Residential - Combining District)
 - M-17 (Multiple Family Residential)
 - M-29 (Multiple Family Residential)
 - F-R (Forestry Residential)

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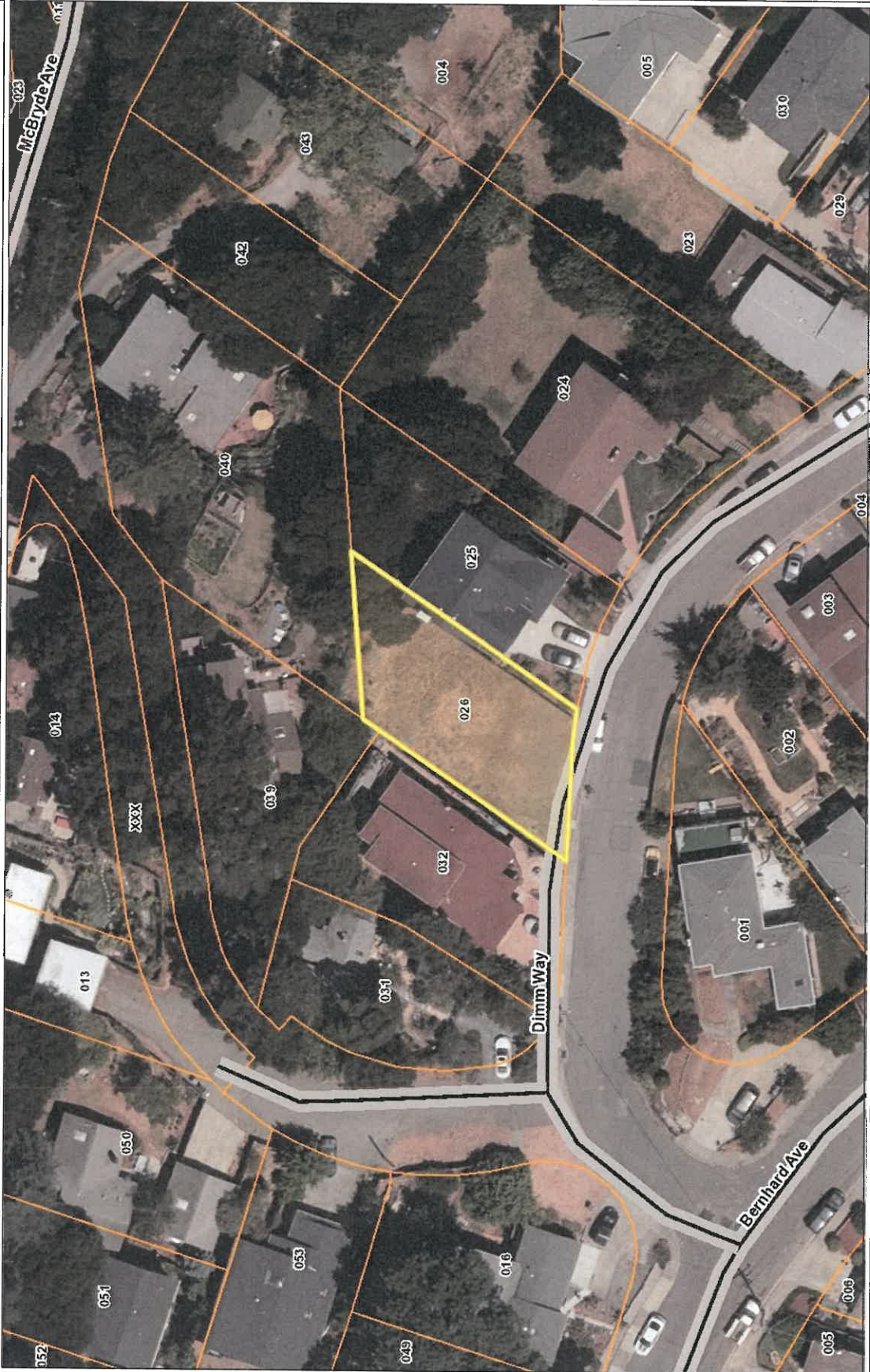
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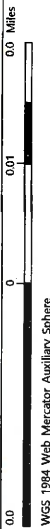
Aerial Photo



Legend

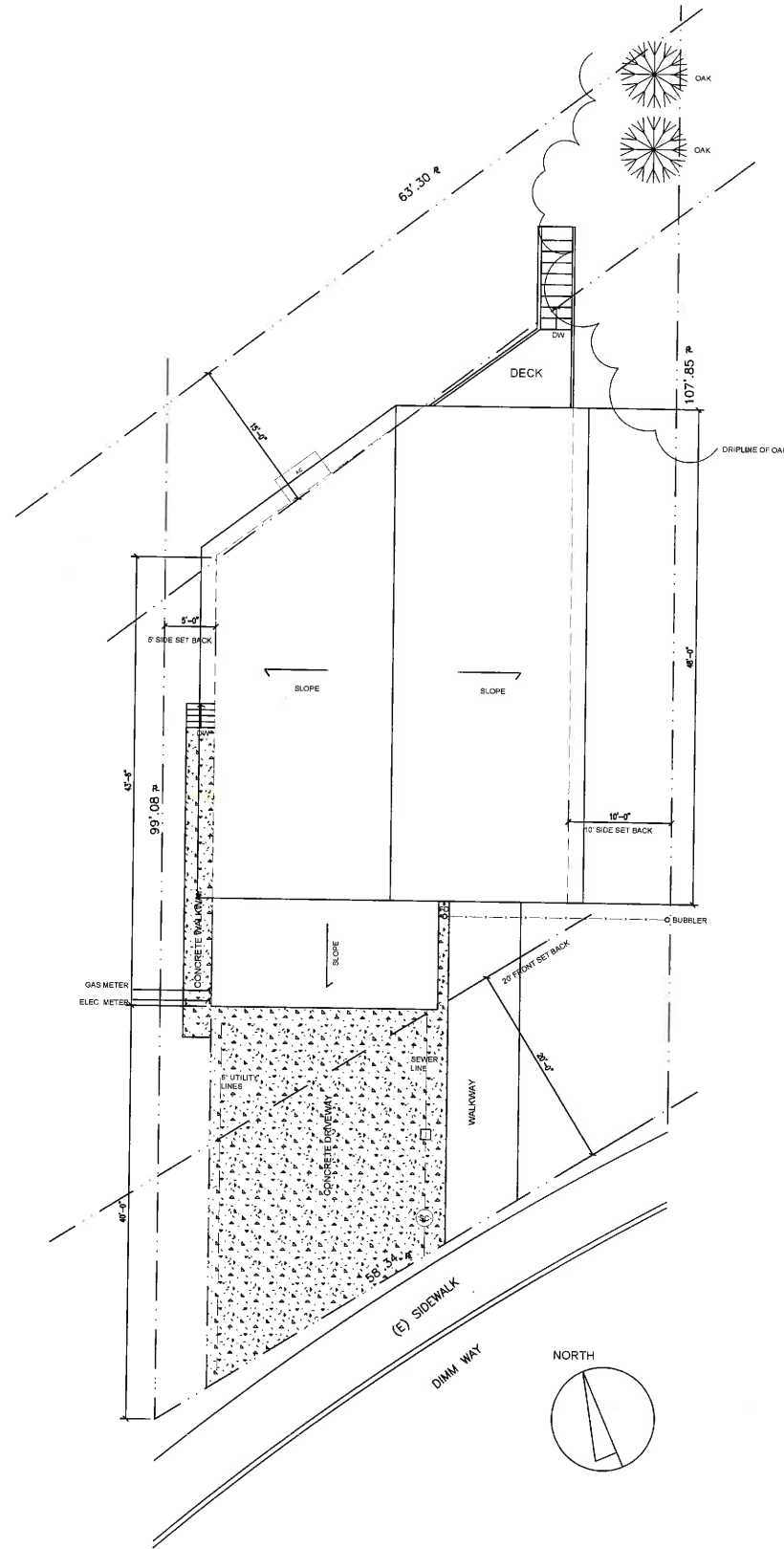
- Highways
- Highways Bay Area
- Streets
- Water Bodies
- County Boundary
- Bay Area Counties
- Assessment Parcels

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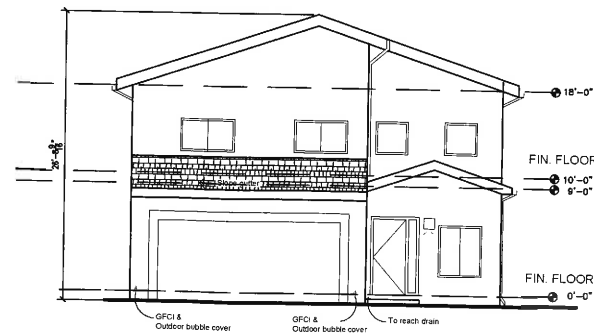
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Notes
Contra Costa County -DOIT GIS



SITE PLAN

SCALE: 1/8"=1'-0"



FRONT ELEVATION

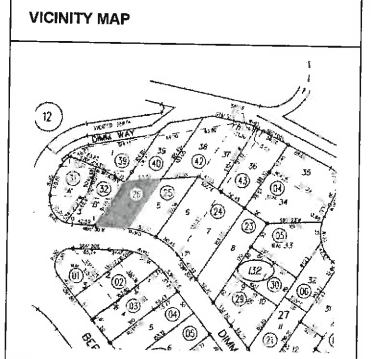
SCALE: 1/8"=1'-0"

CONTRA COSTA
COUNTY

2019 JUN 13 P 2:03

DEPARTMENT OF
CONSERVATION
AND DEVELOPMENT
DP18-3034
REVISIONS

| APPLICABLE CODES | | SCOPE OF WORK |
|--|-------------------|---|
| 2016 California Building Standards Administrative Code Part 1 2016 California Building Code Part 2, Volume 1 (based on the 2015 International Building Code) 2016 California Building Code Part 2, Volume 2 (based on the 2015 International Building Code) 2016 California Residential Code Part 2.5 (based on the 2015 International Residential Code) 2016 California Electrical Code Part 3 (based on the 2014 National Electrical Code) 2016 California Mechanical Code Part 4 (based on the 2015 Uniform Mechanical Code) 2016 California Plumbing Code Part 5 (based on the 2015 Uniform Plumbing Code) 2016 California Energy Code Part 6 (Part 7 not used) 2016 California Historical Building Code Part 8 2016 California Fire Code Part 9 (based on the 2015 International Fire Code) 2016 California Existing Building Code Part 10 2016 California Green Building Standards Code (CALGreen Code) Part 11 2016 California Reference Standards Code Part 12 Contra Costa County Code, Title VII City Ordinances | | 1. NEW SFR ON CLEARED LOT 2. NEW UTILITY CONNECTIONS: -ELECTRICAL SERVICE -GAS SERVICE -WATER SERVICE -WASTE WATER SERVICE 3. NEW FIRE SPRINKLER SYSTEM, INCLUDING BACKFLOW PREVENTER 4. REPLANTING TREES PER PREVIOUSLY ISSUED TREE REMOVAL PERMIT 5. ISSUANCE OF PROPERTY ADDRESS |
| FIRE SPRINKLER | HERS VERIFICATION | BUILDING DATA |
| | | Occupancy R-3 Construction VN Stories Two Sprinkled Yes, Submittal. Basement No Ground Floor Area 1238 sq.ft. Upper Floor Area 1373 sq.ft. 2 Car Garage 456 sq. ft. Lot Area 5560 sq. ft. Total Building Coverage 1694 sq. ft. FAR 55% Lot Coverage 30.5% |



| PAGE SCHEDULE | |
|---------------|-------------------------------|
| PAGE | CONTENT |
| A-1 | TITLE SHEET/SITE PLAN |
| A-1.1 | CONSTRUCTION & CODE NOTES |
| A-1.2 | TOPOGRAPHY |
| A-2.1 | PROPOSED FIRST FLOOR |
| A-2.2 | PROPOSED SECOND FLOOR |
| A-2.3 | ATTICS AND ROOF |
| A-2.4 | FIRST FLOOR AREA CALCULATION |
| A-2.5 | SECOND FLOOR AREA CALCULATION |
| A-3 | PROPOSED ELEVATION VIEWS |
| A-4 | PROPOSED SECTIONS |
| A-6.1 | DIAGRAMS |
| E-1.1 | FIRST FLOOR ELECTRICAL PLAN |
| E-1.2 | SECOND FLOOR ELECTRICAL PLAN |
| L-1 | TREE PLANTING PLAN |
| F-1 | FIRE PROTECTION |
| 1 | FIRE SPRINKLER PROPOSED |

| REVISIONS | BY |
|-----------|----|
| 01/14/19 | SU |
| 03/12/19 | SU |

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Email: neatly360@gmail.com
PH: (415) 937-8494

PROPOSED RESIDENCE
FOR
APN 418-132-026

TITLE SHEET/
SITE PLAN

| |
|---------------------|
| DRAWN SU |
| CHECKED SU |
| DATE 12-12-18 |
| SCALE 1/8"=1'-0" |
| JOB NO. DIMMWAY |
| SHEET |

A-1

GENERAL NOTES

1. PROJECT TO BE CONSTRUCTED BY A LICENSED GENERAL CONTRACTOR.
2. IN CASE OF CONFLICT OR DISCREPANCY IN THE DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING.
3. PRIOR TO THE START OF WORK CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENSURE ALL WORK IS BUILDABLE AS SHOWN. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING CONSTRUCTION.
4. HOUSE SHALL MEET ASHREA 62.2 2013 STD FOR CONTINUOUS SUPPLY, EXHAUST AND BALANCED VENTILATION WITH OR WITHOUT HEAT RECOVERY.
CALCULATION = (BEDROOM+1)X7.5+1%SQFT= REQUIRED CFM
= (3+1)X7.5+1%*2466
= 30+ 25 (24.66 ROUNDED UP) = 55 CFM
5. REDUCED FORMALDEHYDE IN INTERIOR FINISH TO MEET CURRENT CARB AIRBORNE TOXIC CONTROL MEASURE (ATCM) FOR COMPOSITE WOOD.
6. HERS INSPECTION REQUIRED.
7. A RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED IN ACCORDANCE WITH NFPA 12 AND STATE AND LOCAL REQUIREMENTS.
8. INTERCONNECTED FIRE/SMOKE ALARM SYSTEM IS REQUIRED. WITH A CARBON MONOXIDE DETECTOR ON EACH FLOOR.
9. WOOD IN CONTACT WITH MOISTURE (IN CONCRETE) TO BE PRESSURE TREATED.
10. ELECTRIC VEHICLE SUPPLY TO BE INSTALLED, LESS MANUFACTURER FINISH. 220V 40 AMP SERVICE.
11. LANDSCAPING BY OWNER. NOT PART OF PERMIT.
12. ONWER TO COMPLY WITH TREE REMOVAL PERMIT AND RESOTRATION AT BUILDING FINAL.
13. CONTRACTOR SHALL NOT STAGE, STORE OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC RIGHT OF WAY. CONSTRUCTION PHASING SHALL BE CO COORDINATED TO KEEP MATERIAL AND EQUIPMENT ONSITE.

ARCHITECTURAL GENERAL NOTES

VENTILATION

1. LOCATION AND SIZE OF FOUNDATION VENTS TO CONFORMTO CRC R408
2. PROVIDE UNDER ROOF CROSS VENTILATION AT THE RATE OF 1/150 OF THE ATTIC AREA. CRC R806.2
3. BATHROOMS AND LAUNDRY SHALL BE MECHANICALLY VENTILATED (50 CFT/MIN). THE POINT OF DISCHARGE MUST BE 3' MIN ABOVE ANY BUILDING OPENINGS WITHIN 10' . HABITABLE ROOMS SHALL BE NATURALLY VENTILATED WITH CLEAR OPEN AREA NOT LESS THAN 4% OF THE AREA OF THE ROOM.

CRC ACCESS.

1. PROVIDE UNOBSTRUCTED 18' MIN BY 24" MIN ACCESS TO ALL UNDERFLOOR AREAS WHERE JOISTS OR SUBFLOOR IS UNTREATED. CRC R408.4
2. PROVIDE 22"MIN BY 30' MIN ACCESS TO ALL ATTIC SPACED WITH 30" CLEAR HEIGHT OR MORE. CRC R807.

FIRE PROTECTION.

1. A.; GARAGE WALLS COMMON WITH LIVING AREA TO BE 1/2" GYPSUM BOARD MINIMUM FROM FOUNDATION TO ROOF SHEATHING ON THE GARAGE SIDE AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. GARAGE SUPPORTING HABITABLE ROOMS ABOVE TO BE 1-HOUR CONSTRUCTION WITH 5/8" TYPE "X" GYPSUM BOARD MINIMUM. DOORS FROM GARAGE TO LIVING AREA TO BE 1-3/8" MIN SOLID WOOD DOOR OR 20-MINUTE FIRE RATED WITH SELF CLOSING AND SELF LATCHING DEVICE AND WEATHER STRIPPING. PROVIDE 1/2" GYPSUM BOARD ON ALL WALLS AND STRUCTURES AT GARAGE SIDE OF WALL SUPPORTING 5/8" TYPE "X" GYPSUM BOARD.
2. USEABLE SPACE UNDER STAIRS TO BE 1/2" GYPSUM BOARD MIN AT ALL WALLS AND CEILING PER CRC.
3. PROVIDE 6" MIN CLEARNACE AT BACK OF FURNACE AND 12" TOTAL CLEARNACE ON SIDES OF FURNACE, UNLESS OTHERWISE REQUIRED BY MAUFACTURERS INSTALLATION INSTRUCTIONS.

GLAZING

1. ALL GLASS AND GLAZING SHALL COMPLY WITH THE US SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS AND WITH FEDERAL SPECIFICATIONS.
2. VERIFY WINDOWS MEET EGRESS REQUIREMENT (CRC R310). AT LEAST ONE ADDITIONAL ESCAPE ROUTE FROM EACH SLEEPING ROOM. 20" CLEAR WIDTH. 24" CLEAR HEIGHT AND 5.7SOFT CLEAR OPENING. THE BOTTOM OF THE CLEAR OPENING CANNOT BE GREATER THAN 44" OFF FINISHED FLOOR.
3. SKYLIGHT DESIGNED TO CARRY TRIBUTARY LOADS AS SPECIFIED IN THE CRC R301.
4. CONSTRUCTION OF SKYLIGHT GLAZING TO MEET REQUIEREMENTS OF CRC R308.6
5. GLASS SHOWER AND TUB ENCLOSURES AND WINDOWS OVER SHOWERS AND TUBS TO BE SAFETY GLASS. CRC T308.4.5
6. GLAZING IN ANY DOOR, OR GLAZING WITHIN 24" OF ANY DOOR AND WITH IN 60" OF FLOORS TO BE TEMPERED GLASS. CRC R308.4.1 AND R308.4.2 GLAZING WITHIN 18" OF THE FLOOR AS PER CRC R308.4.3 OR AT ENCLOSED WALLS AT STAIRWAY AS PER CRC R308.4.6 AND R308.4.7 TO BE TEMPERED GLASS.

STAIRS

1. RISERS ON STAIRWAYS SHALL NOT BE LESS THAN 4" NOR GREATER THEN 7-3/4". THE GREATEST RISER HEIGHTS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". CRC R311.7.5 HEAD ROOM AT THE STAIRWAY TO BE 6'8" MIN, MEASURED VERITCALLY AT ALL POINTS FORMED BY THE PLANE TANGENT TO ALL TREAD NOSINGS. CRC R311.7.2 NOSING DIMENSTION AND PROFILING PER CRC R311.7.5.3
2. HAND RAILS TO BE 34" TO 38" ABOVE TREAD NOSING, CIRULAR HANDGRIP TO BE MIN 1-1/4" TO 2" MAX CROSS SECTION. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OF FLIGHT WITH FOUR RISERS OR MORE. CRCR311.7.8

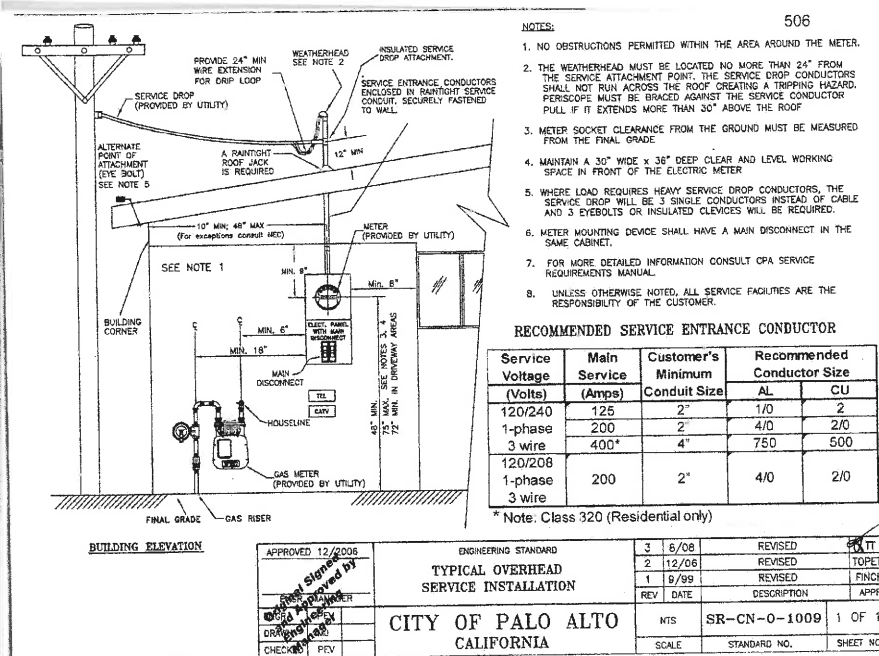
BATHROOMS

1. TOILETS TO HAVE A MINIMUM CLEAR STALL SPACE OF 30" ANF A MINIMUM CLEAR SPACE OF 24" IN FRONT. INSTALL MAX. 1.28 GPF UNIT.
2. SHOWERS TO HAVE A MINIMUM AREA 1024 SQIN AND A MINIMUM CLEAR HORIZONTAL DIMENSION OF 30" MEASURED AT THE TOP OF CURB. WALLS SHALL BE CEMENT BASED BACKER BOARD OR DENSSHEILD FIBERGLASS BOARDS TO A MIN HEIGHT OF 72" ABOVE THE DRAIN INLET. CRC R307.2 PROVIDE INDIVIDUAL PRESSURE BALANCE OR TEMPERATURE CONTROL AT EACH SHOWER OR TUB/SHOWER.
3. INSTALL TUB WITH FULL MORTAR SET TILE SURROUND. WALLS SHALL BE CEMENT BASED BACKER OR DENSSHEILD BOARDS TO CEILING AT SHOWERS AND TUB/SHOWERS.

MISCELLANEOUS NOTES

1. ALL HARDWOOD FLOORING TO BE INTALLED WITH THE LATEST NOFMA SPECIFICATIONS AND RECOMMENDATIONS.
2. ALL TILE WORK TO BE INSTALLED IN ACCORDANCE TO THE LATEST TILE COUNCIL OF AMERICA SPECIFICATIONS AND RECOMMENDATIONS.
3. ALL PLUMBING WORK SHALL COMPLY WITH THE CALIFORNIA PLUMBING CODE, SAFETY ORDERS OF THE STATE OF CALIFORNIA AND ALL LOCAL CODES AND ORDINANCES.
4. ALL HVAC WORK SHALL BE IN CONFORMANCE WITH APPLICABLE CODES, THE CALIFORNIA MECHANICAL CODE, AND THE RECOMMENDED PRACTICES OF ASHRAE AND SMACNA.
5. ALL ELECTRICAL WORK SHALL CONFORM TO THE CALIFORNIA ELECTRICAL CODE AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS.
6. ALL HANDLING AND REMOVAL OF TOXIC MATERIALS TO BE DONE BY A CERTIFIED TOXIC WASTE CONTRACTOR. CERTIFICATION TO BE DONE BY THE STATE OF CALIFORNIA AND REGISTERED WITH THE LOCAL BUILDING OFFICIAL.
7. FOR NEW CONSTRUCTION, ALL DWELLINGS SHALL COMPLY WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE. BUILDINGS SHALL BE DESIGNED TO INCLUDE THE GREEN BUILDING MEASURES SPECIFIED IN THIS CODE. FOR SITE DEVELOPMENT PER CGBSC SECTION 4.106, FOR WATER EFFICEINCY AND CONSERVATION PER CGBSC SECTION 4.301, FOR INDOOR AIR QUALITY PER CGBSC SECTION 5.506

UTILITY INSTALLATION STANDARD



| REVISIONS | BY |
|-----------|----|
| 01/14/19 | SU |
| 03/12/19 | SU |
| | |
| | |

NEATLY INC
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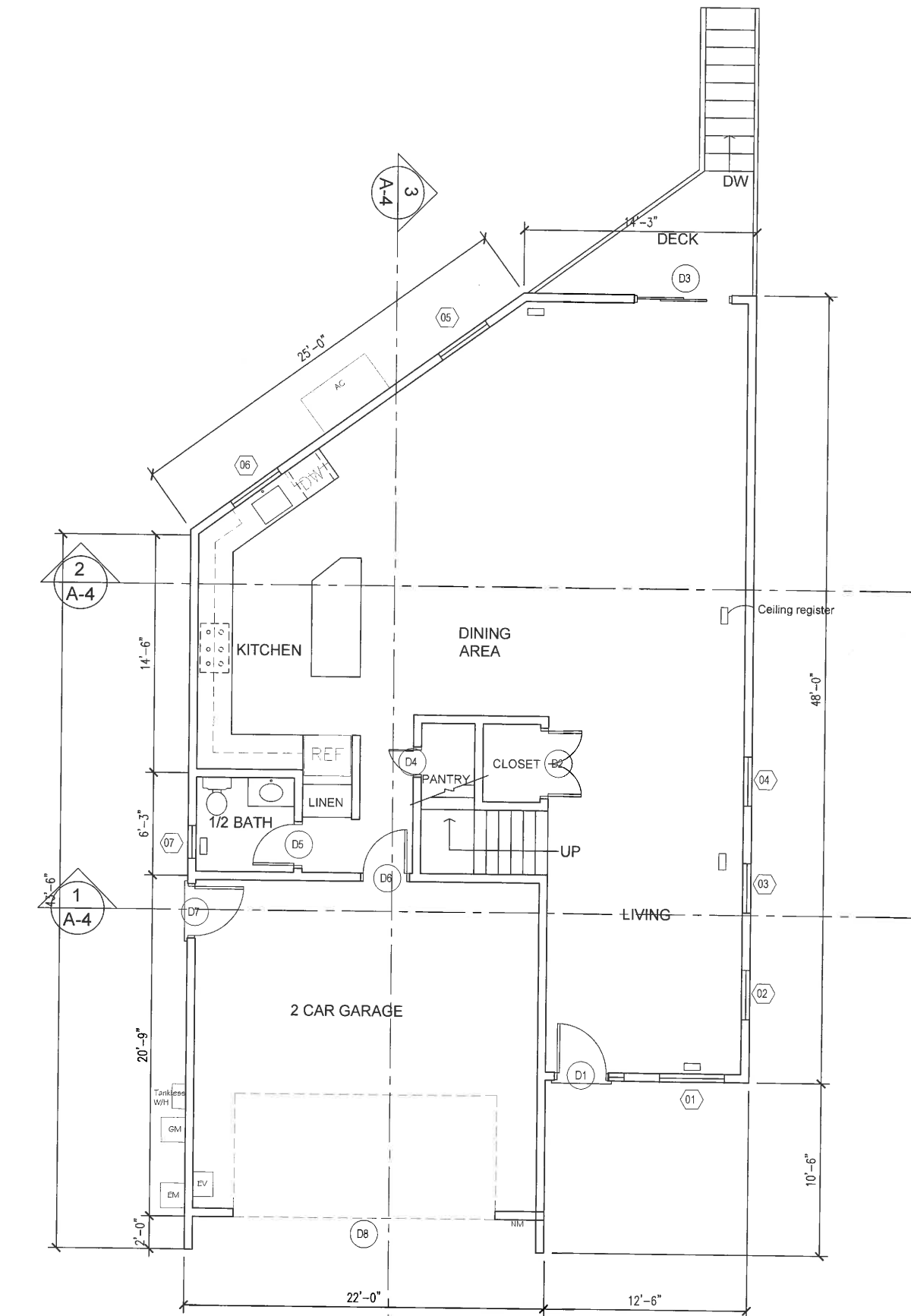
PROPOSED RESIDENCE
FOR
APN 418-132-026

CONSTRUCTION &
CODE NOTES

| |
|------------|
| DRAWN |
| SU |
| CHECKED |
| SU |
| DATE |
| 12-12-18 |
| SCALE |
| 1/8"=1'-0" |
| JOB NO: |
| DIMMWAY |
| SHEET |

A-1.1

A-1.2



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

| DOOR & WINDOW SCHEDULE | | | | | | | | | |
|------------------------|-------|--------|------|-----------------|------------|---------------|-------------|-------------------|---|
| SYMBOL | WIDTH | HEIGHT | SQFT | TYPE | JAMB WIDTH | TOP OF HEADER | MANU. MODEL | LOCATION | NOTE |
| FIRST FLOOR | | | | | | | | | |
| D1 | 48 | 80 | | ENTRY/SIDELITE | 2X6 | 6'10 | | ENTRY | 36" DOOR WITH 12" SIDELITE |
| D2 | 48 | 80 | | DOOR | 2X4 | 6'10 | | CLOSET | 2X24" DOORS |
| D3 | 72 | 80 | | GLASS SLIDER | 2X6 | 6'10 | | DECK EXIT | TEMPERED |
| D4 | 18 | 48 | | DOOR | 2X4 | 5'0 | | PANTRY | CUSTOM SIZE MAY BE CABINET DOOR |
| D5 | 32 | 80 | | DOOR | 2X4 | 6'10 | | 1/2 BATH | |
| D6 | 36 | 80 | | 20MIN FIRE DOOR | 2X6 | 6'10 | | GARAGE | FIRE RATED, SELF CLOSING, EXTERIOR THRESHOLD, WEATHER STRIPPING |
| D7 | 36 | 80 | | DOOR | 2X6 | 6'10 | | GARAGE SIDE | |
| D8 | 204 | 84 | | ROLL UP | 2X6 | 7'0 | | GARAGE | ROLL UP DOOR |
| O1 | 48 | 48 | | CASEMENT | 2X6 | 7'0 | | LIVING ROOM FRONT | CASE RIGHT, FIXED, CASE LEFT. TEMPERED |
| O2 | 42 | 60 | | DOUBLE HUNG | 2X6 | 7'0 | | LIVING ROOM SIDE | TEMPERED |
| O3 | 42 | 60 | | DOUBLE HUNG | 2X6 | 7'0 | | LIVING ROOM SIDE | TEMPERED |
| O4 | 42 | 60 | | DOUBLE HUNG | 2X6 | 7'0 | | LIVING ROOM SIDE | TEMPERED |
| O5 | 48 | 66 | | FIXED | 2X6 | 7'0 | | DINING ROOM | TEMPERED |
| O6 | 36 | 42 | | CASEMENT | 2X6 | 7'0 | | KITCHEN | |
| O7 | 24 | 30 | | DOUBLE HUNG | 2X6 | 7'0 | | 1/2 BATH | PRIVACY GLASS, TEMPERED |

| REVISIONS | BY |
|-----------|----|
| 01/14/19 | SU |
| 03/12/19 | SU |

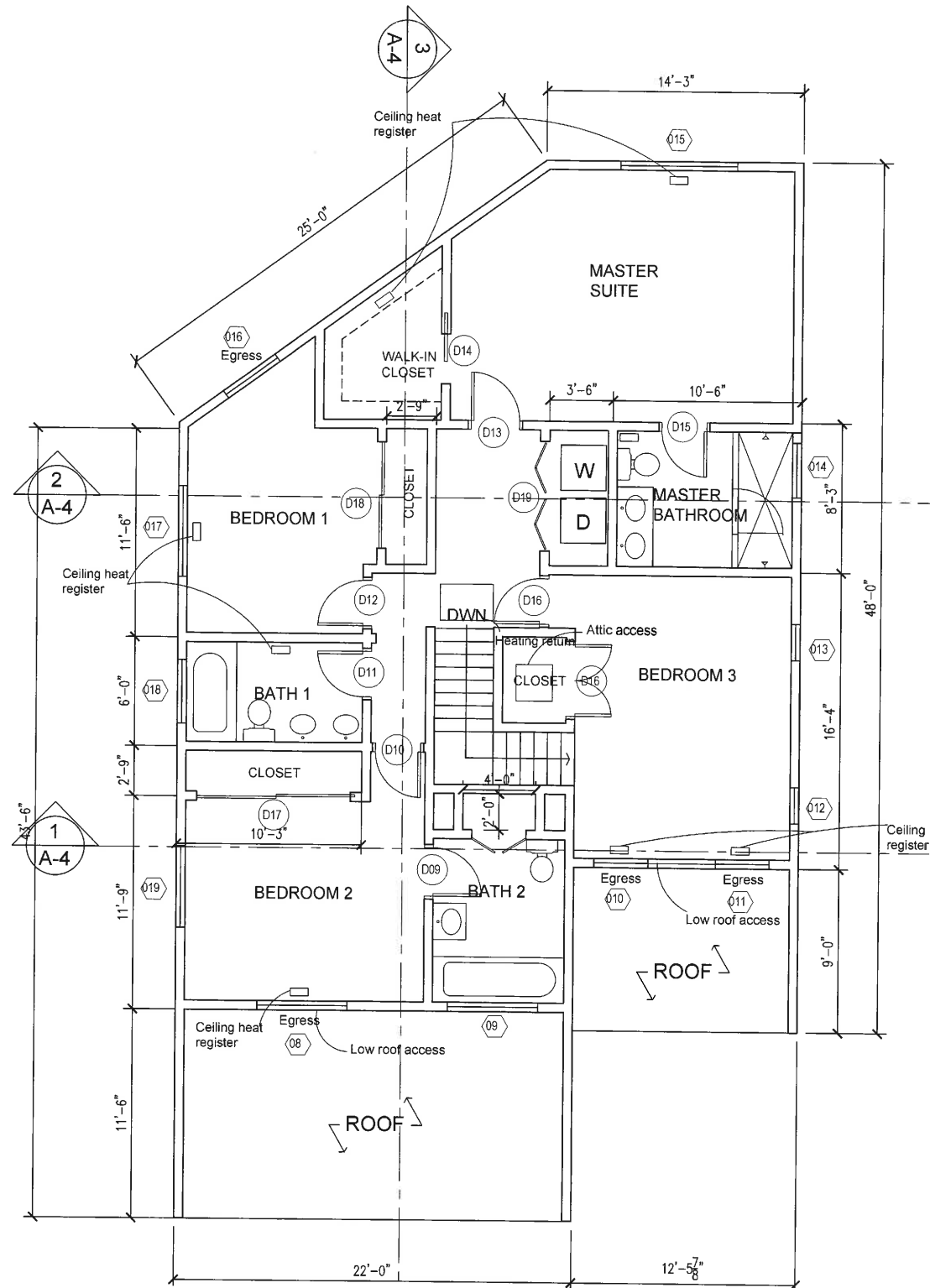
NEATLY INC
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Pleasant Hill, CA 94523
Email: neatly360@gmail.com
PH: (415) 937-8494

PROPOSED RESIDENCE
FOR
APN 418-132-026

PROPOSED
FIRST FLOOR

| |
|------------|
| DRAWN |
| SU |
| CHECKED |
| SU |
| DATE |
| 12-12-18 |
| SCALE |
| 1/4"=1'-0" |
| JOB NO. |
| DIMMWAY |
| SHEET |

A-2.1



| DOOR & WINDOW SCHEDULE | | | | | | | | | |
|------------------------|-------|--------|------|----------------|------------|---------------|-------------|------------------|--|
| SYMBOL | WIDTH | HEIGHT | SQFT | TYPE | JAMB WIDTH | TOP OF HEADER | MANU. MODEL | LOCATION | NOTE |
| SECOND FLOOR | | | | | | | | | |
| D9 | 32 | 80 | | DOOR | 2X4 | 6'10" | | BATH 2 | |
| D10 | 32 | 80 | | DOOR | 2X4 | 6'10" | | BEDROOM 2 | |
| D11 | 32 | 80 | | DOOR | 2X4 | 6'10" | | BATH 1 | |
| D12 | 32 | 80 | | DOOR | 2X4 | 6'10" | | BEDROOM 1 | |
| D13 | 32 | 80 | | DOOR | 2X4 | 6'10" | | MASTER SUITE | |
| D14 | 32 | 80 | | DOOR | 2X4 | 6'10" | | WALK IN CLOSET | |
| D15 | 32 | 80 | | DOOR | 2X4 | 6'10" | | BATH | |
| D16 | 32 | 80 | | DOOR | 2X4 | 6'10" | | BEDROOM 3 | |
| D17 | 72 | 80 | | BYPASS | 2X4 | 6'10" | | BEDROOM 2 | HEAVY DUTY TRACK |
| D18 | 72 | 80 | | BYPASS | 2X4 | 6'10" | | BEDROOM 1 | HEAVY DUTY TRACK |
| D19 | 60 | 80 | | 2 x BIFOLD | 2X4 | 6'10" | | LAUNDRY | 1" TO BE TRIMMED FROM BOTTOM FOR VENTING |
| O8 | 60 | 36 | | OX SLIDER | 2X6 | 7'0" | | BEDROOM 2 | EGRESS, TEMPERED |
| O9 | 60 | 36 | | XO SLIDER | 2X6 | 7'0" | | BATH 2 | EGRESS, TEMPERED |
| O10 | 36 | 36 | | CASEMENT RIGHT | 2X6 | 7'0" | | MASTER BED FRONT | EGRESS, TEMPERED |
| O11 | 36 | 36 | | CASEMENT LEFT | 2X6 | 7'0" | | MASTER BED FRONT | EGRESS, TEMPERED |
| O12 | 24 | 36 | | DOUBLE HUNG | 2X6 | 7'0" | | MASTER BED SIDE | |
| O13 | 24 | 36 | | DOUBLE HUNG | 2X6 | 7'0" | | MASTER BED SIDE | |
| O14 | 48 | 24 | | AWNING | 2X6 | 7'0" | | MASTER BATH | PRIVACY GLASS, TEMPERED |
| O15 | 78 | 48 | | SLIDER | 2X6 | 7'0" | | MASTER SUITE | |
| O16 | 42 | 48 | | SLIDER | 2X6 | 7'0" | | BEDROOM 1 | EGRESS |
| O17 | 42 | 48 | | SLIDER | 2X6 | 7'0" | | BEDROOM 1 | EGRESS |
| O18 | 42 | 36 | | SLIDER | 2X6 | 7'0" | | BATH 1 | PRIVACY GLASS, TEMPERED |
| O19 | 48 | 36 | | SLIDER | 2X6 | 7'0" | | BEDROOM 2 | |

| REVISIONS | BY |
|-----------|----|
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| 03/12/19 | SU |

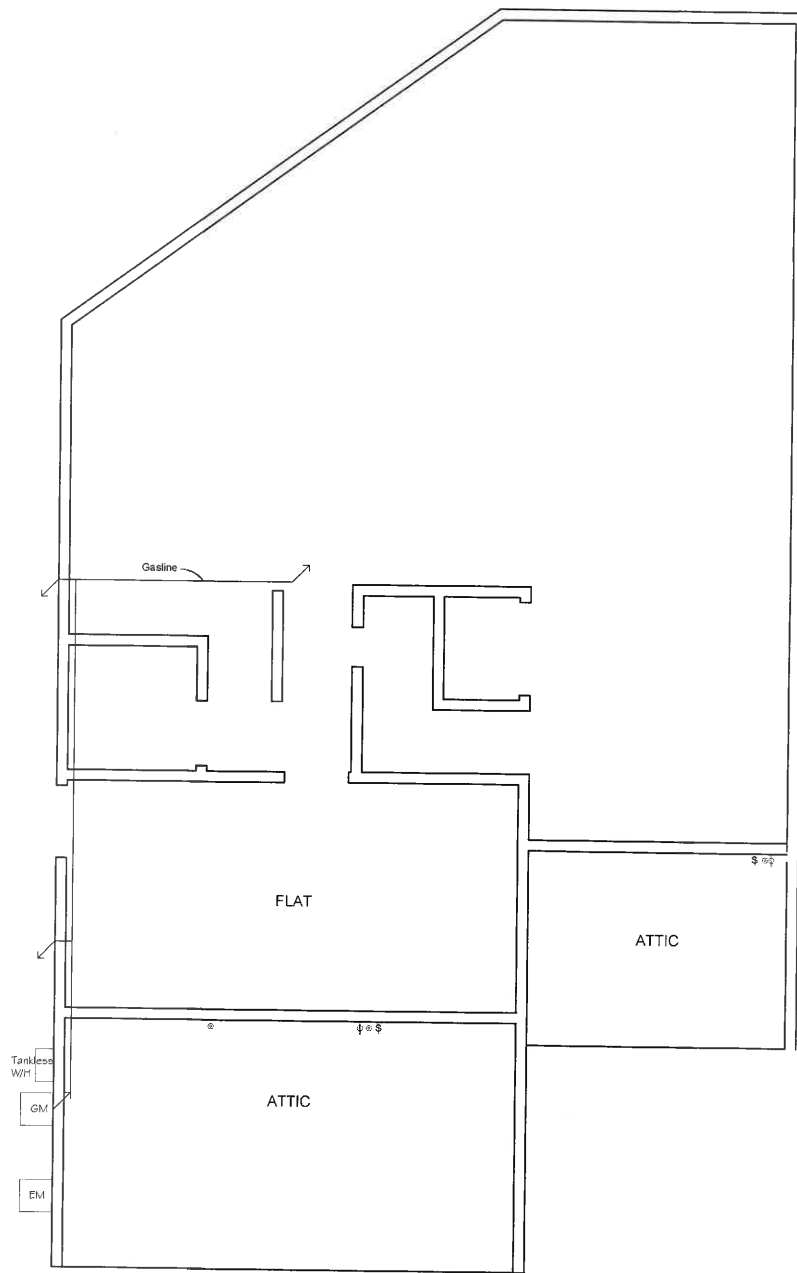
NEATLY INC
PO BOX 2327
Pleasant Hill, CA 94523
Email: neatly360@gmail.com
PH: (415) 937-8494

PROPOSED RESIDENCE
FOR
APN 418-132-026

PROPOSED
SECOND FLOOR

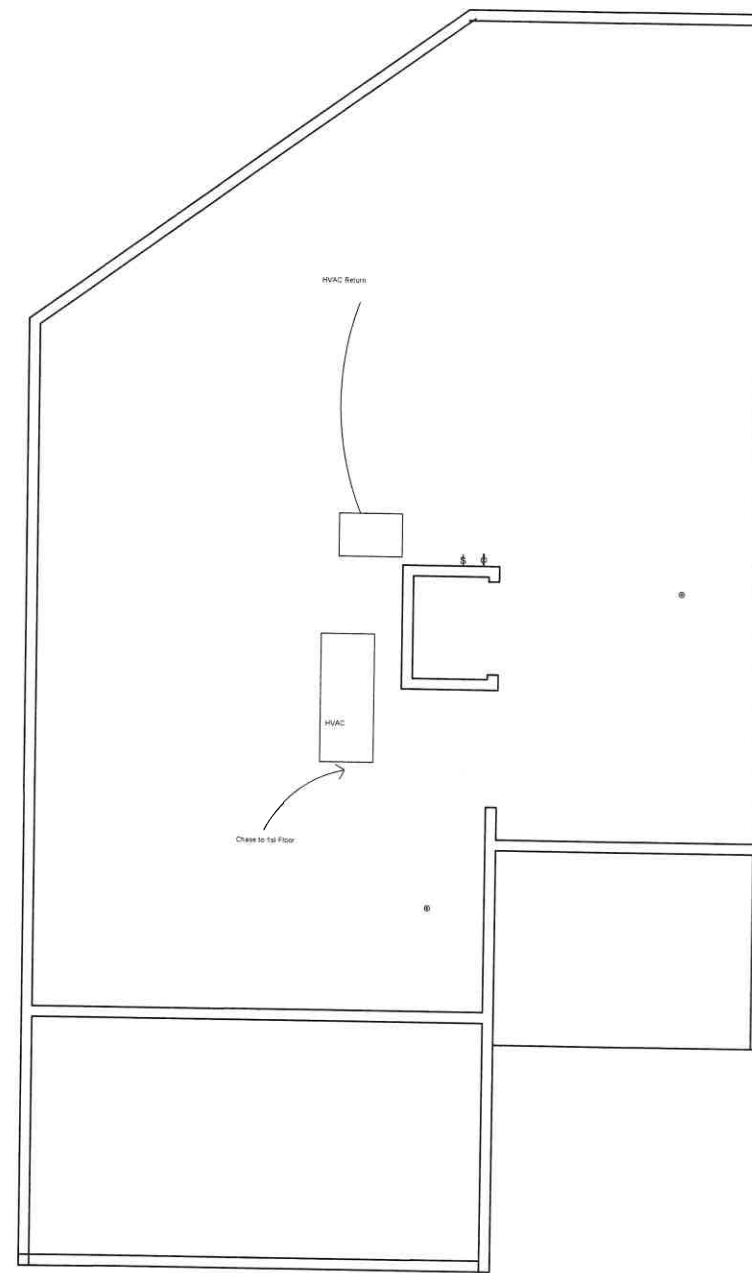
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| DRAWN |
| SU |
| CHECKED |
| SU |
| DATE |
| 12-12-18 |
| SCALE |
| 1/4"=1'-0" |
| JOB NO. |
| DIMMWAY |
| SHEET |

A-2.2



FIRST FLOOR ATTICK

SCALE: 1/4"=1'-0"



SECOND FLOOR ATTIC

SCALE: 1/4"=1'-0"

| REVISIONS | BY |
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| 03/12/19 | SU |
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FOR
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ATTICS AND ROOF

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| CHECKED |
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| 12-12-18 |
| SCALE |
| 1/4"=1'-0" |
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| DIMMWAY |
| SHEET |

A-2.3

| REVISIONS | BY |
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| 03/12/19 | SU |
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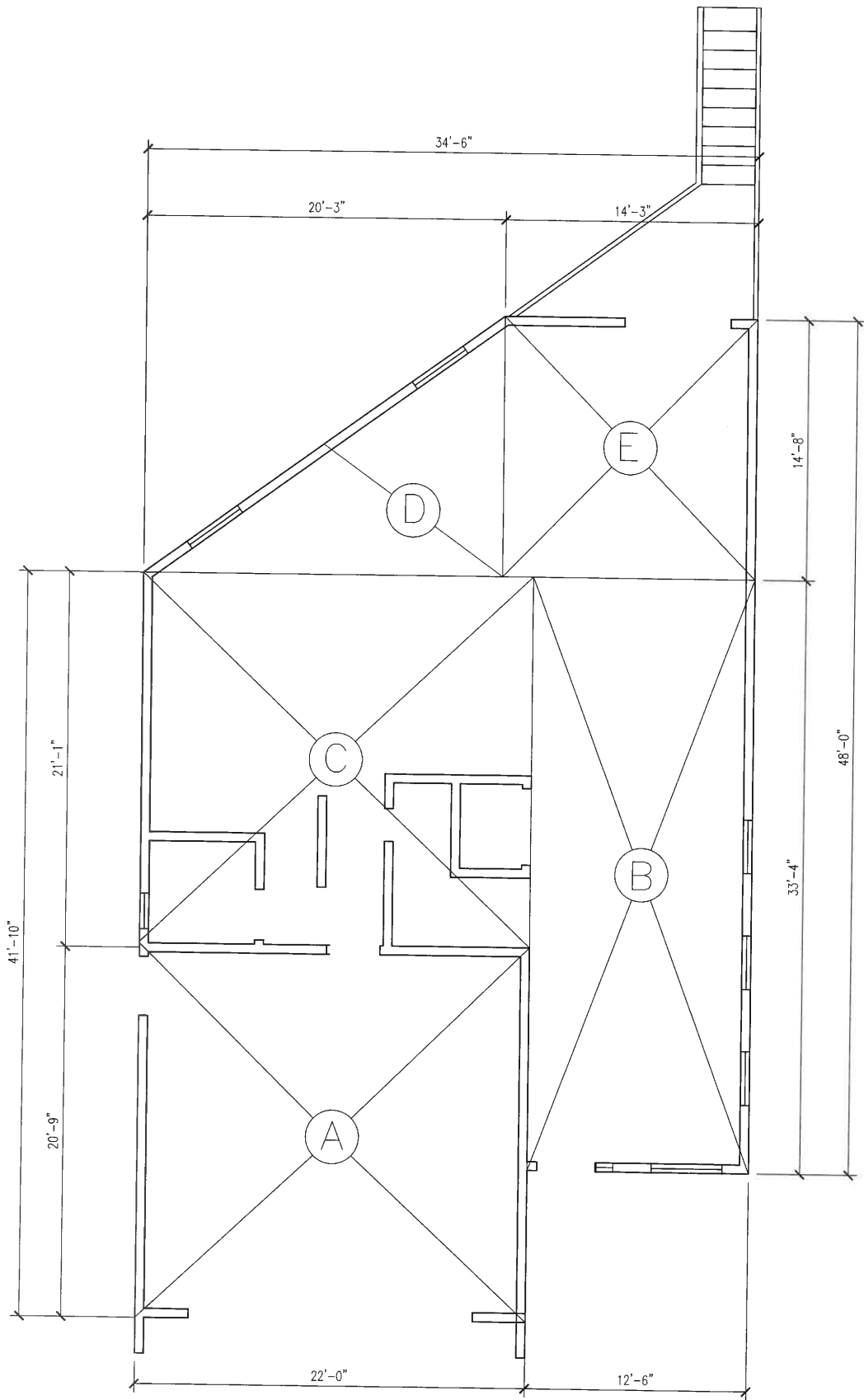
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PH: (415) 937-8494

PROPOSED RESIDENCE
FOR
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FIRST FLOOR AREA
CALCULATION

| |
|------------|
| DRAWN |
| SU |
| CHECKED |
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| DATE |
| 12-12-18 |
| SCALE |
| 1/4"=1'-0" |
| JOB NO. |
| DIMMWAY |
| SHEET |

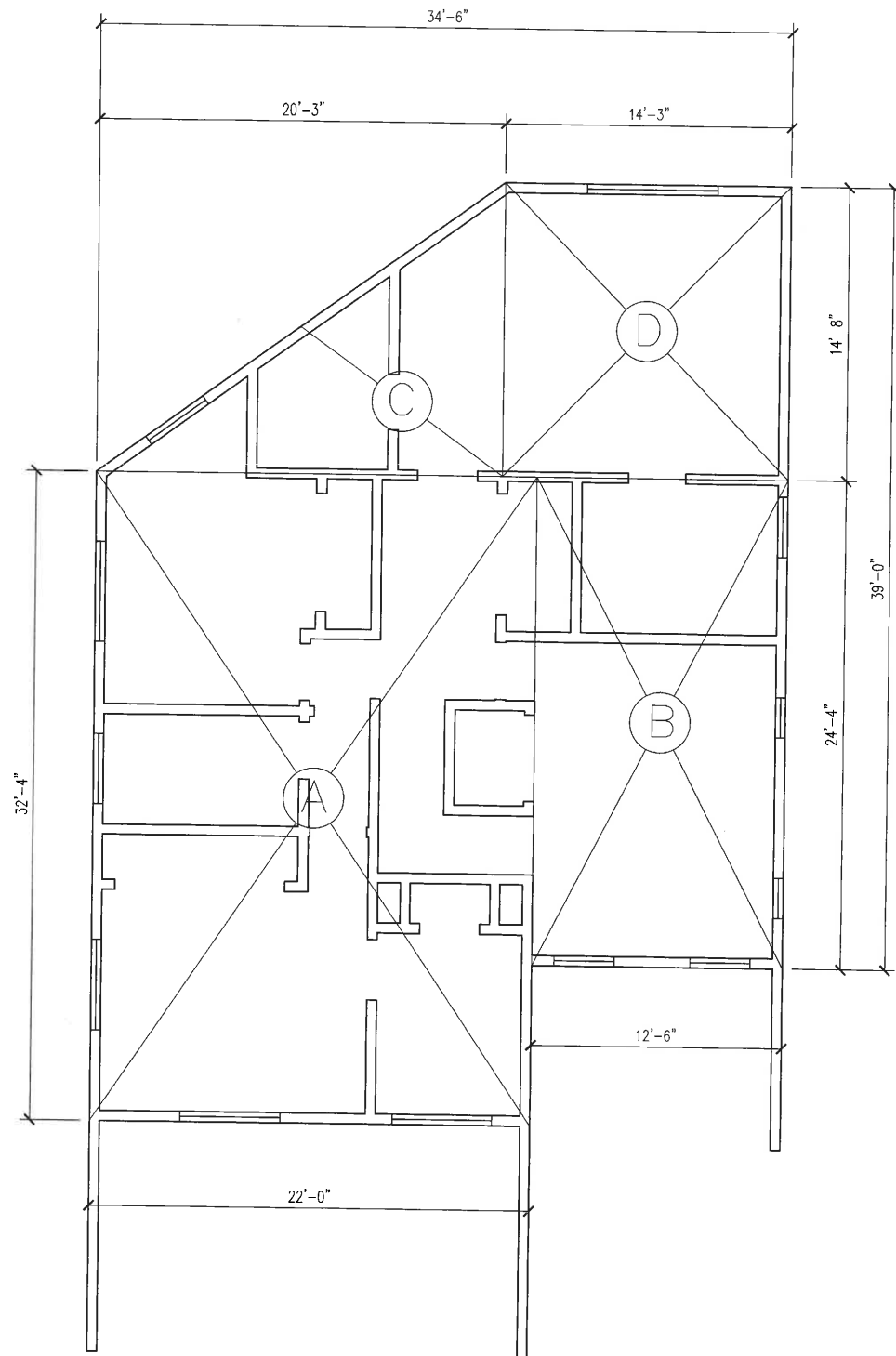
A-2.4



FIRST FLOOR AREA CALCULATION

SCALE: 1/4"=1'-0"

| FIRST FLOOR AREA CALCULATION | | | | |
|------------------------------|--------|---|--------|---------|
| (GARAGE) A | 22'-0" | X | 20'-9" | 456.50 |
| B | 12'-6" | X | 33'-4" | 416.66 |
| C | 22'-0" | X | 21'-1" | 463.83 |
| D | 20'-3" | X | 14'-8" | 148.50 |
| E | 14'-3" | X | 14'-8" | 209.00 |
| TOTAL | | | | 1694.49 |



SECOND FLOOR AREA CALCULATION

SCALE: 1/4"=1'-0"

| SECOND FLOOR AREA CALCULATION | | | | |
|-------------------------------|--------|---|--------|---------|
| A | 22'-0" | X | 32'-4" | 711.33 |
| B | 12'-6" | X | 24'-4" | 304.16 |
| C | 20'-3" | X | 14'-8" | 148.50 |
| D | 14'-3" | X | 14'-8" | 209.00 |
| TOTAL | | | | 1372.99 |

| REVISIONS | BY |
|-----------|----|
| 01/14/19 | SU |
| 03/12/19 | SU |
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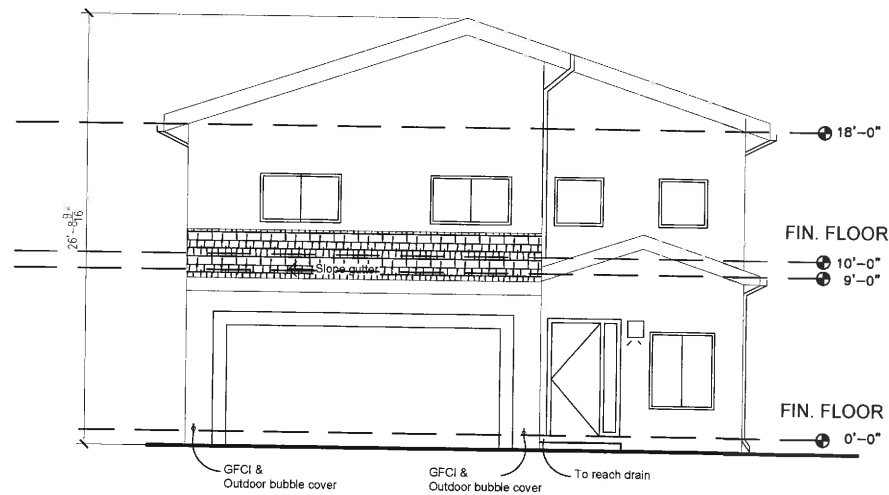
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PROPOSED RESIDENCE
FOR
APN 418-132-026

SECOND FLOOR
AREA CALCULATION

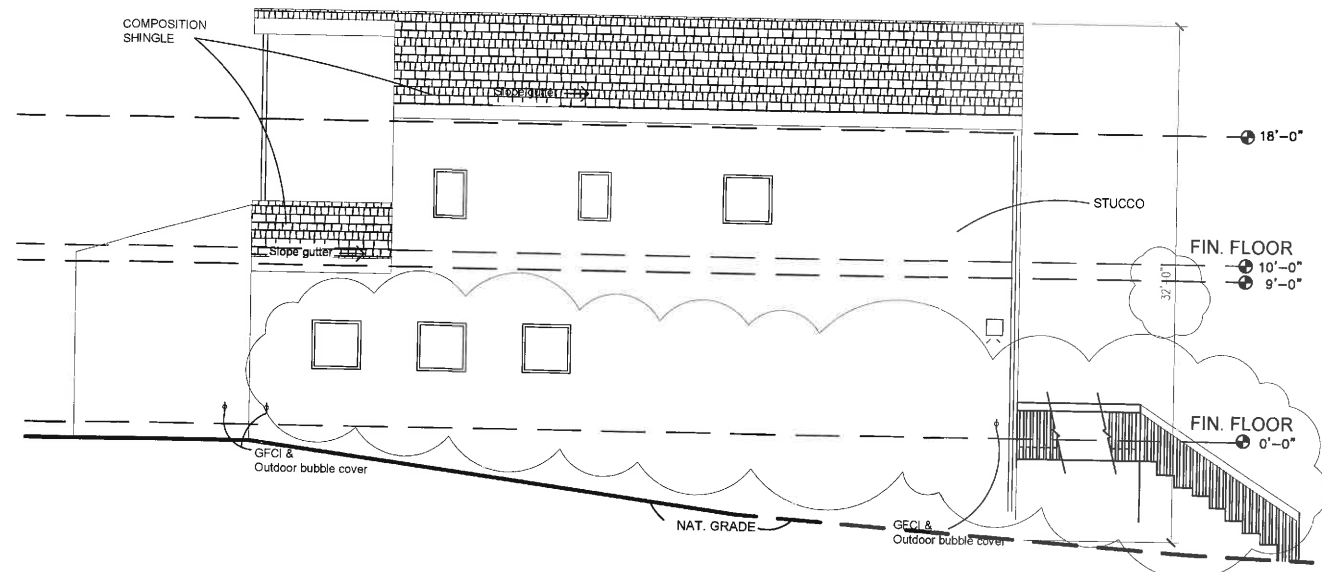
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| DRAWN |
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| CHECKED |
| SU |
| DATE |
| 12-12-18 |
| SCALE |
| 1/4"=1'-0" |
| JOB NO. |
| DIMMWAY |
| SHEET |

A-2.5



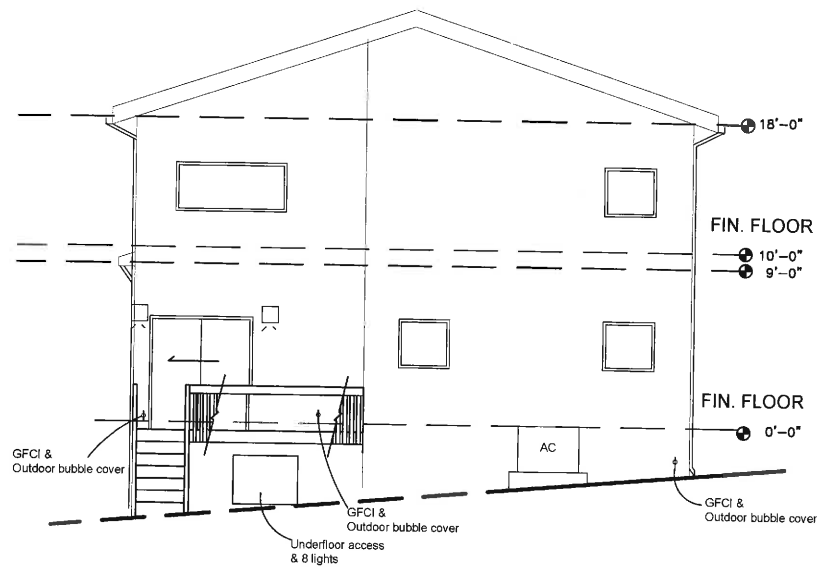
SOUTH ELEVATION

SCALE: 3/16"=1'-0"



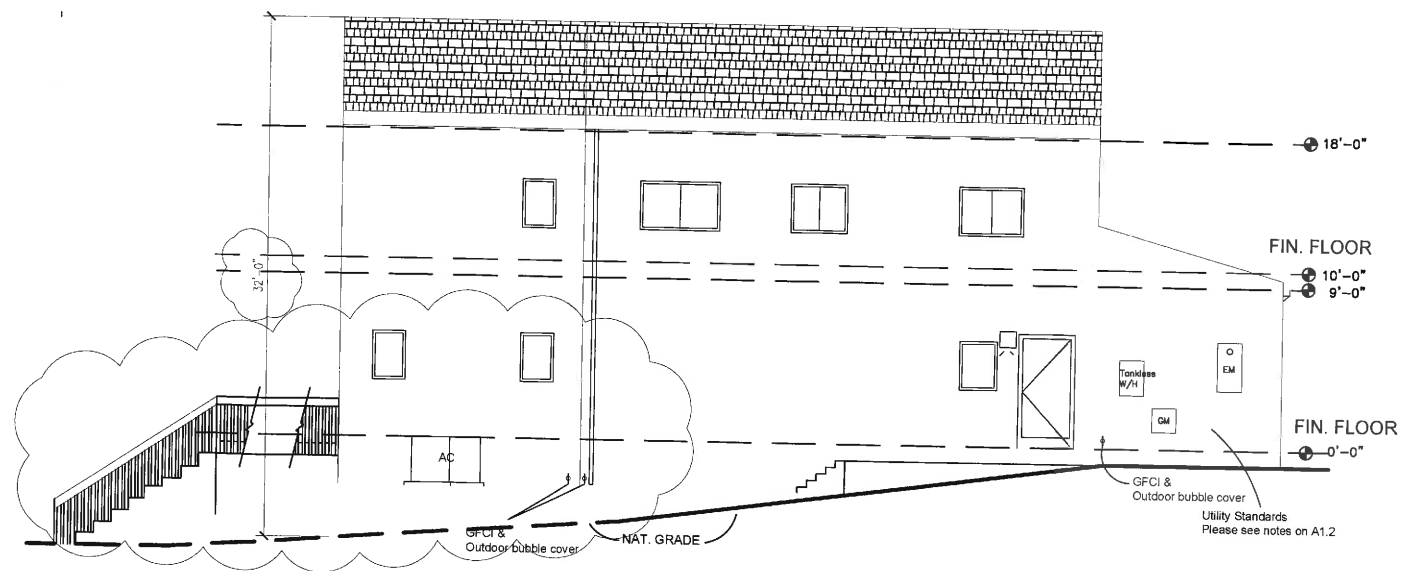
EAST ELEVATION

SCALE: 3/16"=1'-0"



NORTH ELEVATION

SCALE: 3/16"=1'-0"



WEST ELEVATION

SCALE: 3/16"=1'-0"

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| 01/14/19 | SU |
| 03/12/19 | SU |

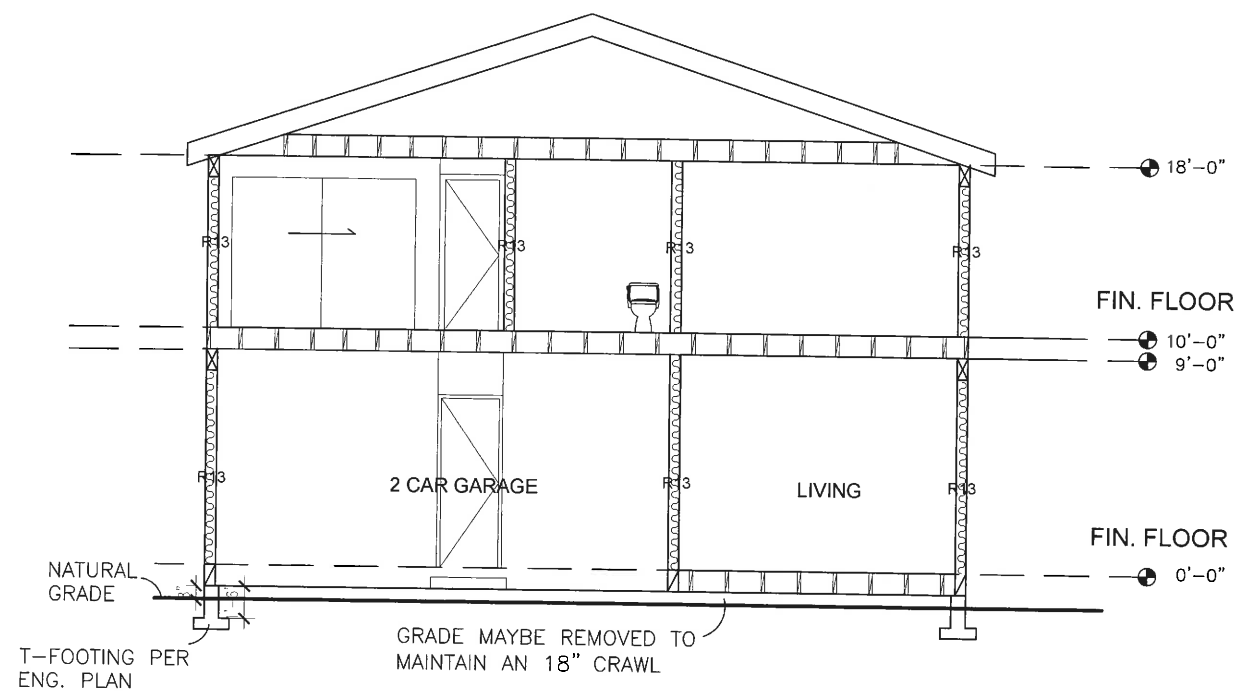
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APN 418-132-026

PROPOSED
ELEVATION VIEWS

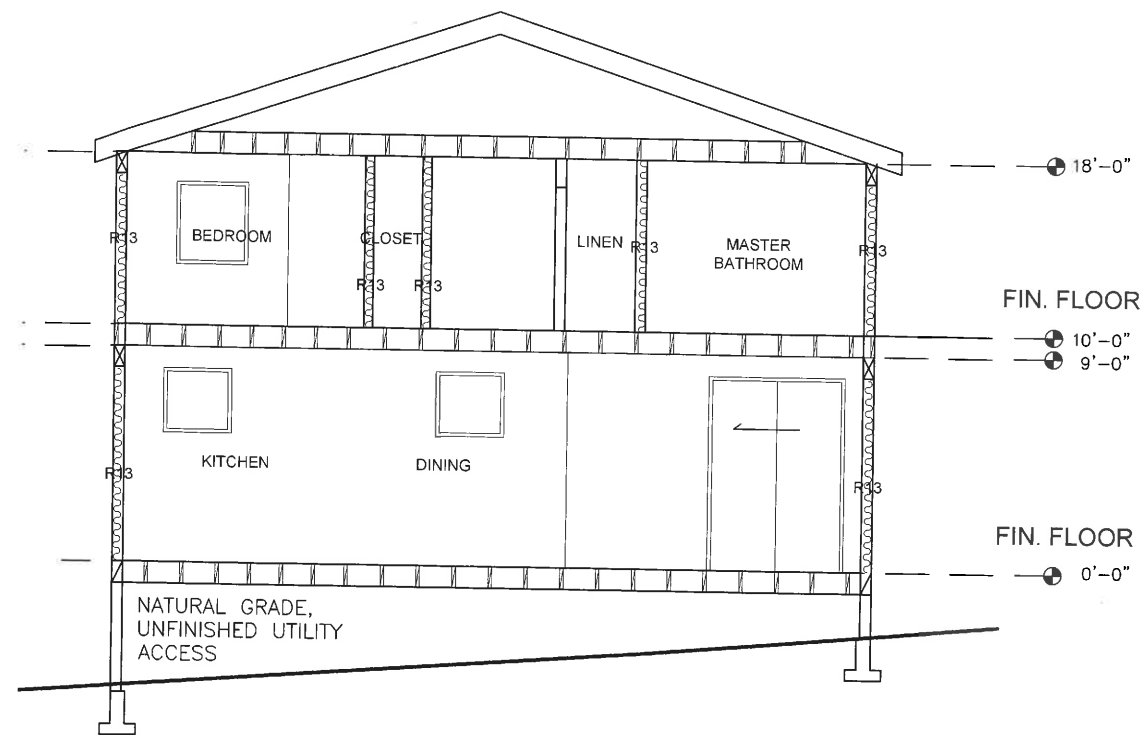
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date
12-12-18
scale
3/16"=1'-0"
job no.
DIMMWAY
sheet

A-3



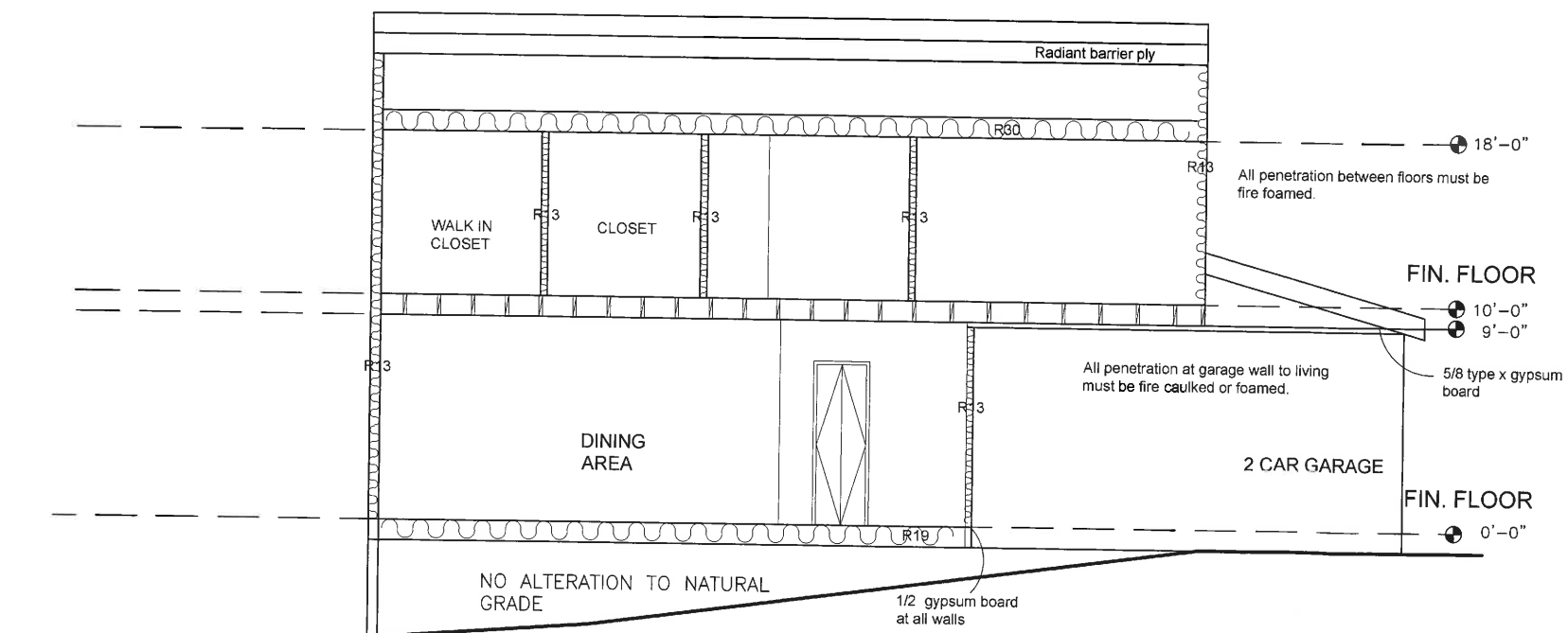
SECTION 1

SCALE: 1/4"=1'-0"



SECTION 2

SCALE: 1/4"=1'-0"



SECTION 3

SCALE: 1/4"=1'-0"

NOTE:
See structural sheet for
framing member type and
sizes.

| REVISIONS | BY |
|-----------|----|
| 01/14/19 | SU |
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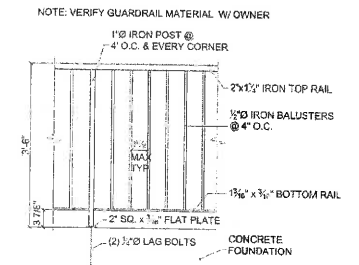
PROPOSED RESIDENCE
FOR
APN 418-132-026

PROPOSED
SECTIONS

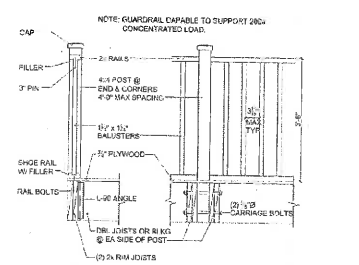
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| DRAWN |
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| CHECKED |
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| DATE |
| 12-12-18 |
| SCALE |
| 1/4"=1'-0" |
| JOB NO. |
| DIMMWAY |
| SHEET |

A-4

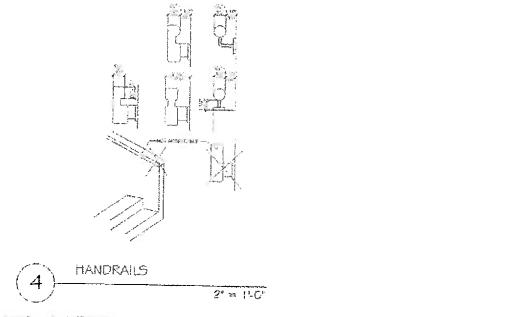
NOTE: GUARDRAIL BOTTOM CONNECTION REQUIRED TO RESIST A SINGLE CONCENTRATED LOAD OF 200 LBS. APPLIED IN ANY DIRECTION AT TOP OF THE RAIL.



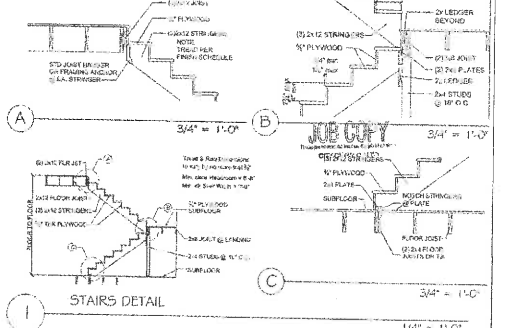
9 GUARDRAIL DETAIL
1/2" = 1'-0"



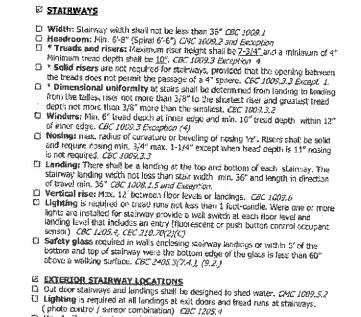
7 GUARDRAIL DETAIL
2" = 1'-0"



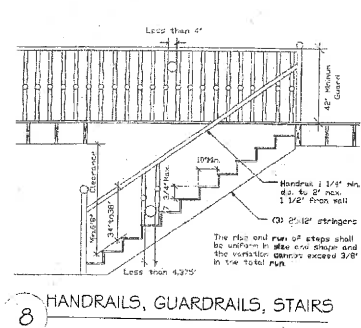
4 HANDRAILS
2" = 1'-0"



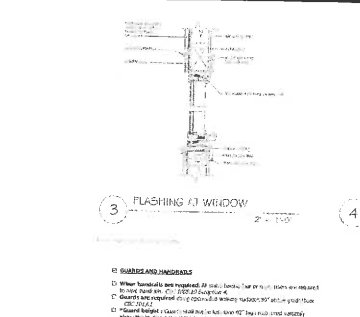
2 STAIRS DETAIL
1/4" = 1'-0"



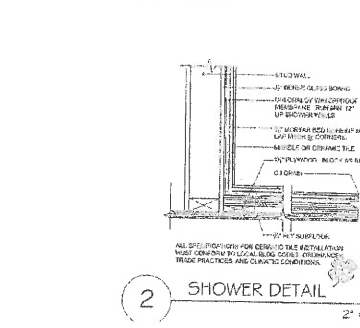
8 HANDRAILS, GUARDRAILS, STAIRS
N.T.S.



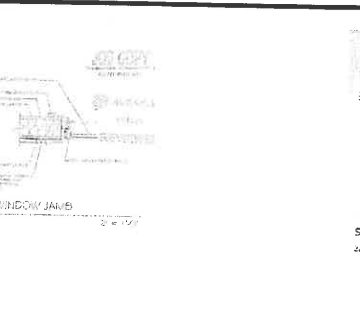
1 STAIRS DETAIL
1/4" = 1'-0"



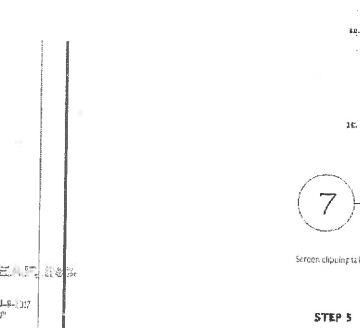
3 FLASHING AT WINDOW
2" = 1'-0"



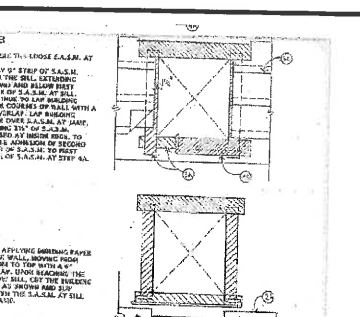
2 SHOWER DETAIL
2" = 1'-0"



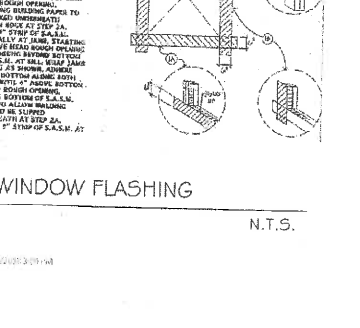
4 WINDOW JAMB
2" = 1'-0"



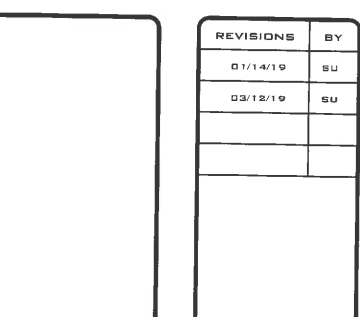
7 WINDOW FLASHING
N.T.S.



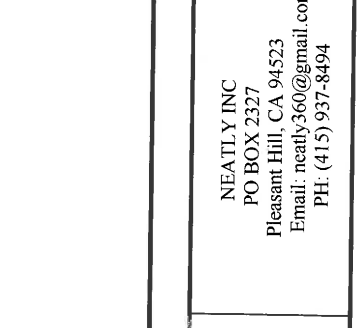
1 FLASHING DETAIL
2" = 1'-0"



6 WEEP SCREED
1 1/2" = 1'-0"

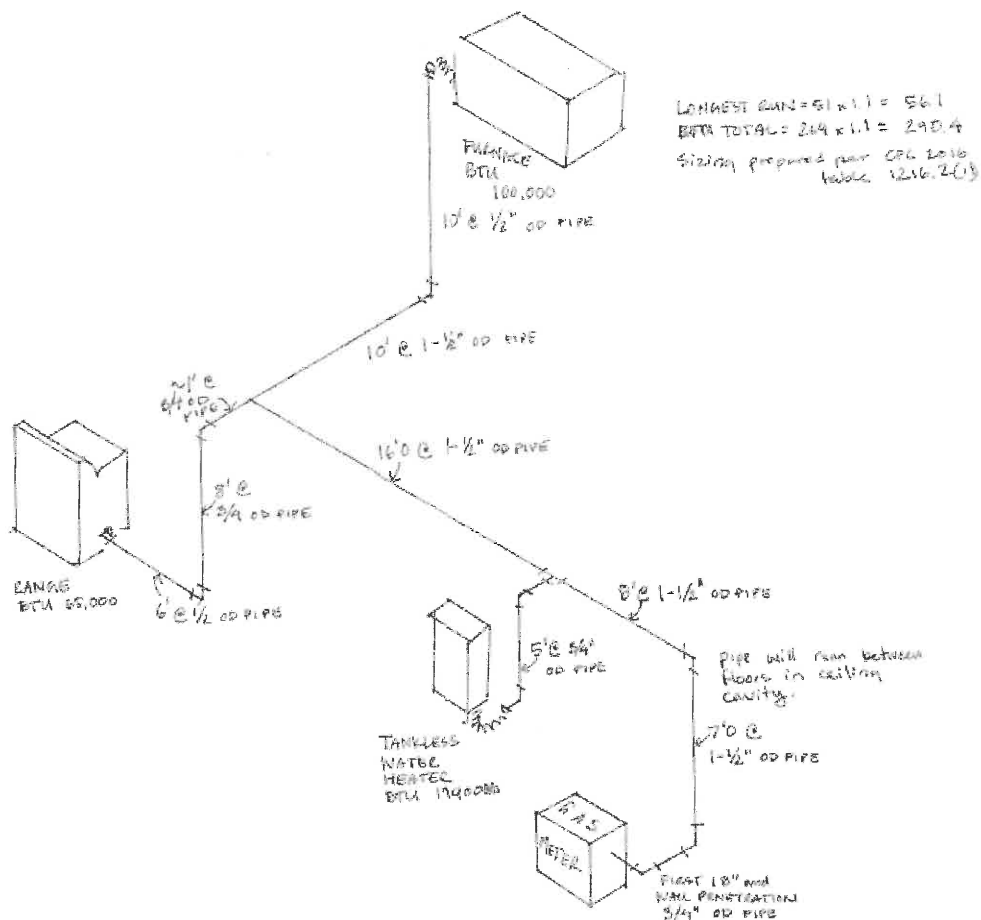


2 FLASHING DETAIL
2" = 1'-0"



1 FLASHING DETAIL
2" = 1'-0"

SINGLE LINE DIAGRAM



LONGEST RUN = 51' x 1.1 = 56.1
BATH TOTAL = 24'4" x 1.1 = 26.84
Sizing prepared per CPG 2016
Table 12.16.2(1)

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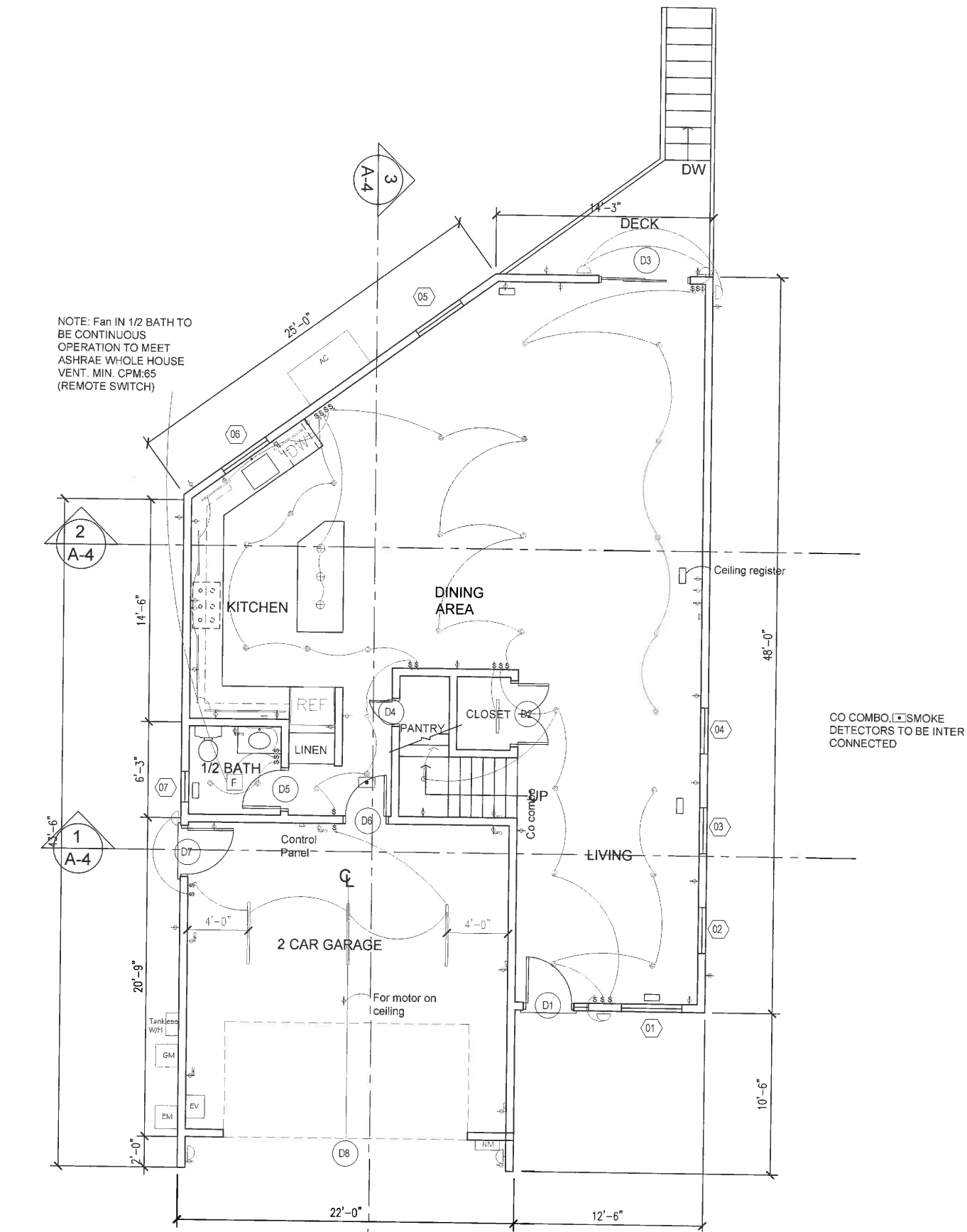
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PROPOSED RESIDENCE
FOR
APN 418-132-026

DIAGRAMS

DRAWN
SU
CHECKED
SU
DATE
12-12-18
SCALE
NTS
JOB NO.
DIMMWAY
SHEET

A-6.1



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

| | | | | | | |
|--|------------------|---------------|------------|-------------|----------|------|
| Lighting and genral Use Receptacles | Square footage | 2866 | Multiplied | 3 equal | 8598 | VA |
| Small Applinace and Laundry Circuits | No. of Circuits | 3 | Multiplied | 1,500 equal | 4500 | VA |
| Appliance/Motor Loads | Generic | A | V | Actual | | VA |
| Cooktop - n/a | | 0 | 120 | | 0 | VA |
| Oven - gas spark with range | | 0 | 240 | | 0 | VA |
| Range - gas | | 15 | 120 | | 1800 | VA |
| Water Heater - gas | | 40 | 240 | | 9600 | VA |
| Dishwasher | | 12 | 120 | | 1440 | VA |
| Garbage Disposal | | 6.48 | 120 | | 777.6 | VA |
| clothes Dryer | | 30 | 240 | | 7200 | VA |
| Trash Compactor - n/a | | 0 | 115 | | 0 | VA |
| Microwave oven | | 13.5 | 120 | | 1620 | VA |
| Garage Door Opener Washer | | 12 | 120 | | 1440 | VA |
| Ice Maker/Ref | | 20 | 115 | | 2300 | VA |
| Electric Car Charger | | 40 | 240 | | 9600 | VA |
| Misc | | 20 | 240 | | 4800 | VA |
| Total Loads | | | | | 53675.6 | VA |
| Load Calcs | | | | | | |
| Total Loads | 53675.6 | minus | 10000 | equals | 43675.6 | |
| Line 1 | 43675.6 | multiplied by | 0.4 | equals | 17470.24 | |
| Line 2 | 17470.24 | plus | 10000 | equals | 27470.24 | |
| HVAC Loads | | | | | | |
| Air Conditioning Equipment 2 units? | | 40 | 240 | equals | 9600 | |
| Heat Pump without supplimental Heating | | 0 | 230 | equals | 0 | |
| Supplemental Heating for heat pump | VA--> | | multiplied | 0.65 equals | 0 | |
| plus heat pump compressor | Value n/a | 0 | | | 0 | |
| Electric Space Heating less 4 units | Value n/a | 0 | multiplied | 0.65 equals | 0 | |
| Electric Space Heating More 4 units | Value n/a | 0 | multiplied | 0.4 equals | 0 | |
| Electric Thermal Storage unit | | | | | 0 | |
| Calculate Total Load | | | | | 37070.24 | |
| Total from load calcs | | | | | 27470.24 | |
| Enter largest load from HVAC | survey and input | | | | 9600 | |
| Total calculated Load | | | | | 37070.24 | |
| Calculate Service Size | Total Lod | 37070.24 | va/ | 240 V | 154.4593 | Amps |
| Service size conductor | Service size | 154.4593 | multiplied | 0.83 equals | 128.2012 | Amps |
| Rated 100A @ 75C. Table 310.15 B.16 | 4/0 AL 3/0 CU | | | | | |
| Project | Dimm Way | | | | | |

| LIGHTING/ELECTRICAL LEGEND | |
|----------------------------|-------------------------|
| | 4" LED RECESSED FIXTURE |
| | WALL MOUNTED SCNCE |
| | PENDANT |
| | UNDER CABINET |
| | EXHAUST FAN |
| | OUTLET |
| | SWITCH |
| | 3-WAY SWITCH |
| | 4-WAY SWITCH |
| | CAT 6/RF |

| REVISIONS | BY |
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FIRST FLOOR
ELECTRICAL PLAN

| | |
|---------|------------|
| DRAWN | SU |
| CHECKED | SU |
| DATE | 12-12-18 |
| SCALE | 1/4"=1'-0" |
| JOB NO. | DIMMWAY |
| SHEET | |

E-1.1

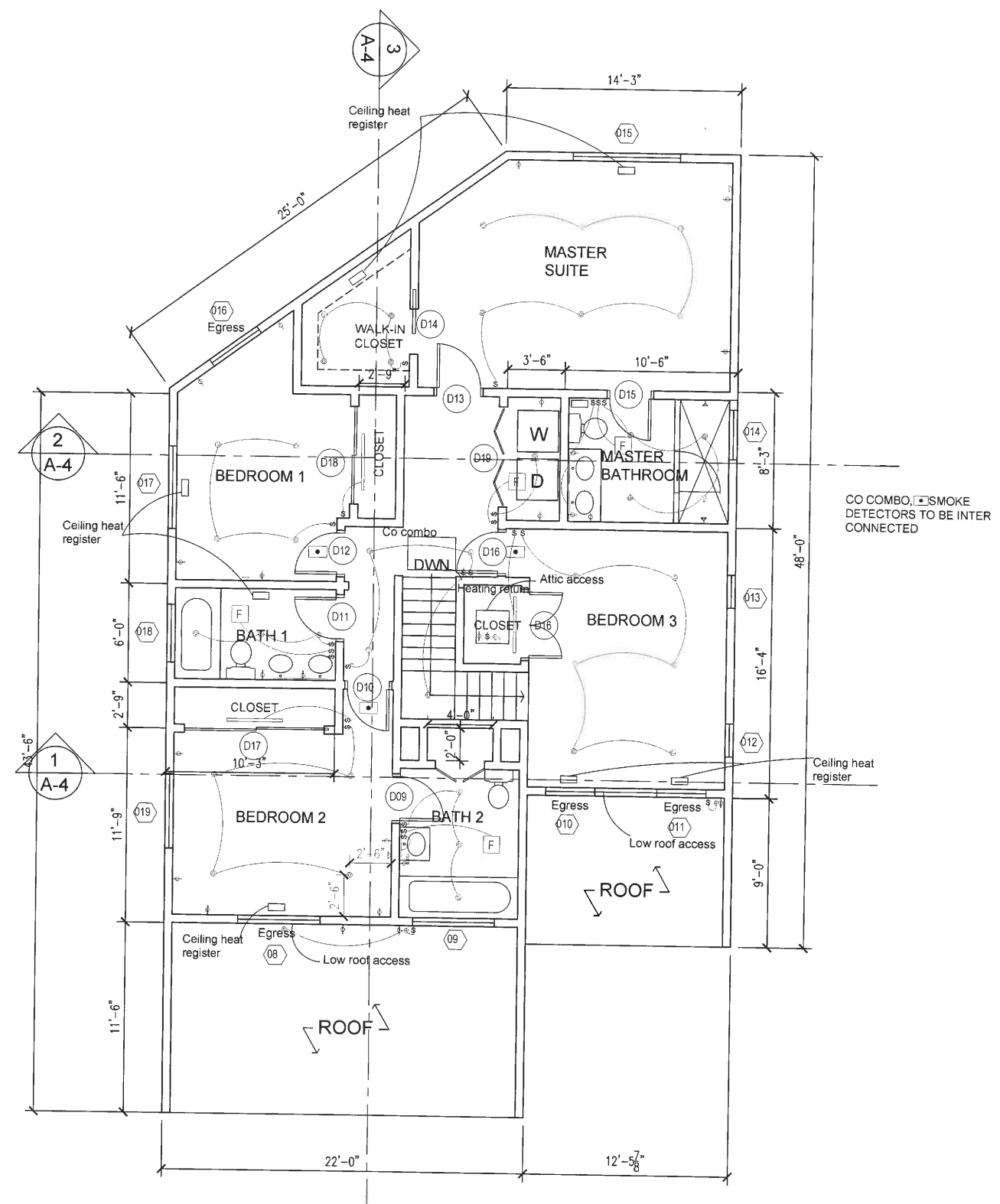
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| 03/12/19 | SU |
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FOR
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SECOND FLOOR
ELECTRICAL PLAN

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| DRAWN |
| SU |
| CHECKED |
| SU |
| DATE |
| 12-12-18 |
| SCALE |
| 1/4"=1'-0" |
| JOB NO. |
| DIMMWAY |
| SHEET |

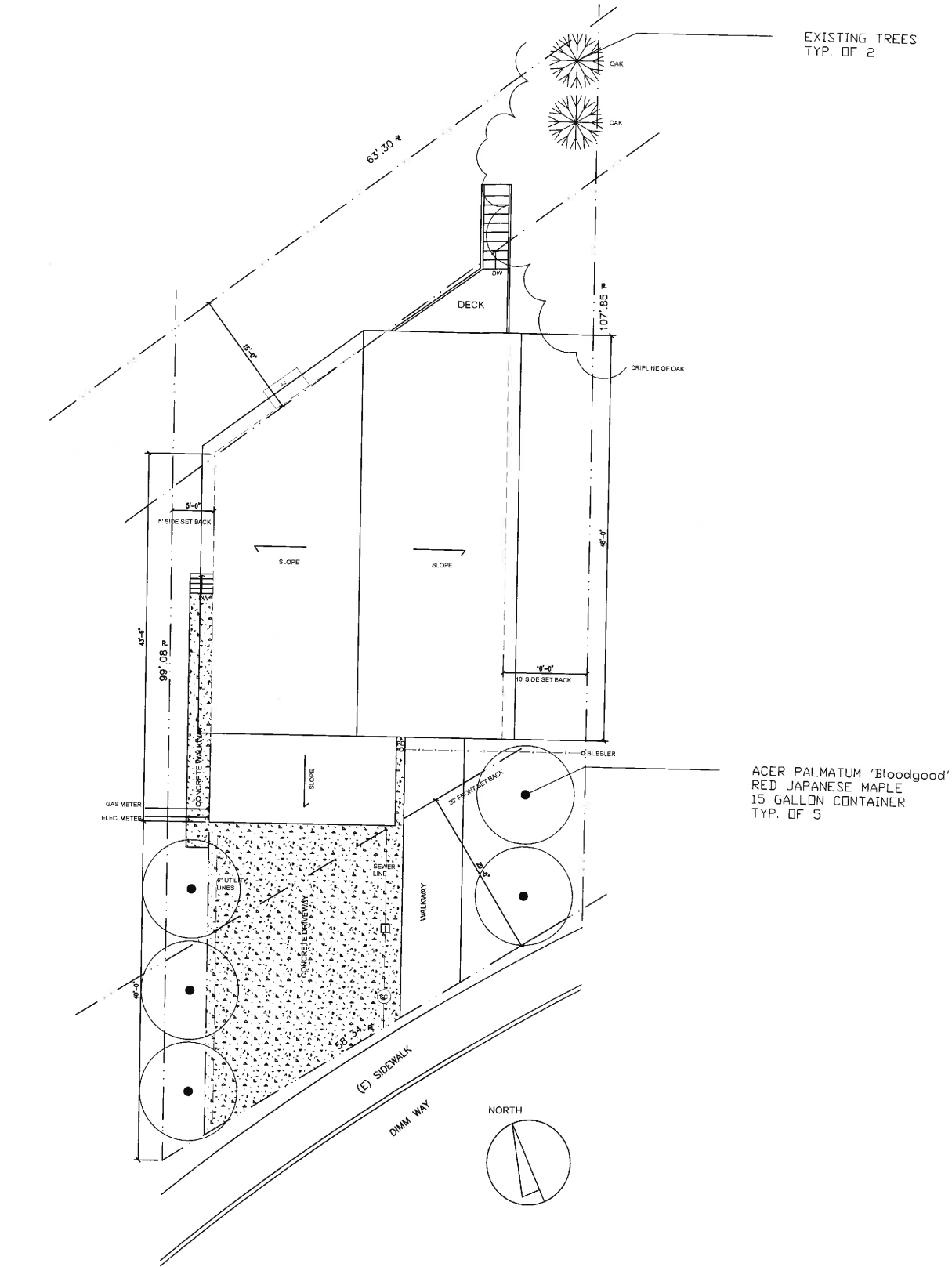


SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

GENERAL NOTES

- A. THE FIVE NEW TREES SHALL COVER 50 SQUARE FEET OF PLANTING AREA



TREE PLANTING PLAN

SCALE: 1/8"=1'-0"

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |

Professional Engineer Seal for State of California, License No. 31984, dated 12/31/20.

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FOR
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TREE PLANTING
PLAN

| |
|---------------------|
| DRAWN |
| CHECKED |
| DATE 01-08-19 |
| SCALE 1/8"=1'-0" |
| JOB NO. |
| SHEET |

L-1



5919 BERNHARD AVE



6040 DIMM WAY



INSPECTION SUMMARY

TODAY'S DATE: January 14, 2019

ADDRESS OF INSPECTION: 6001 Dimm Way, Richmond, CA
SUMMARY TO BE SENT TO: Peter Ryczkowski (peter@paltohi.com)
INSPECTION #: 189836
REQUEST: Pressure/flow Data

SUMMARY OF FINDINGS:

Based on a hydraulic analysis of the water distribution system, the available pressure and flow at Tap C21503 at 6001 Dimm Way is as follows:

Connection point is off of the 6-inch main (6CM55) in Dimm Way, on the north side of Dimm Way, approximately 200 feet east of Bernhard Avenue.

Address of Interest: 6001 Dimm Way, Richmond
Service or Hydrant No.: C21503
Elevation at Connection Point: 305 feet
Static Pressure: 84 psi
Residual Pressure at 100 gpm: 84 psi
Pressure Zone: A2A, Berryman
Pipe Designation: 6CM55

The pressure and flow information stated is available at the street main connection in Dimm Way. Pressure exceeds 80 psi; therefore, a pressure regulator is required for the subject property.

Note: This information is provided as a courtesy and is modeled based on a specific set of distribution system conditions. These conditions are subject to continuous change and may not be conservative enough for your system design. Please use this information as a guideline of the approximate availability of flow; and make allowance for possible reductions in pressure and flow.

East Bay Municipal Utility District
1-866-403-2683

| REVISIONS | BY |
|-----------|----|
| 01/14/19 | SU |
| 03/12/19 | SU |

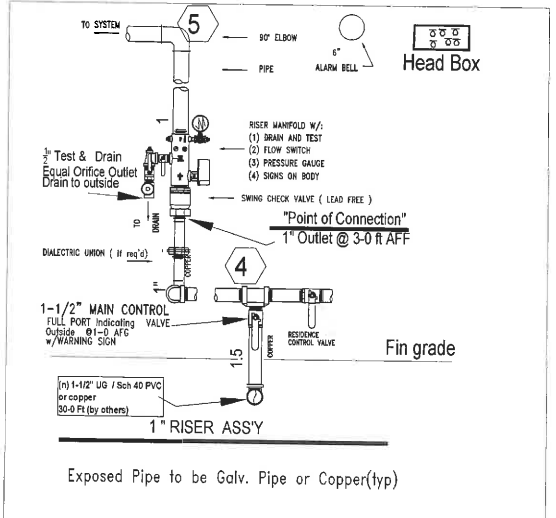
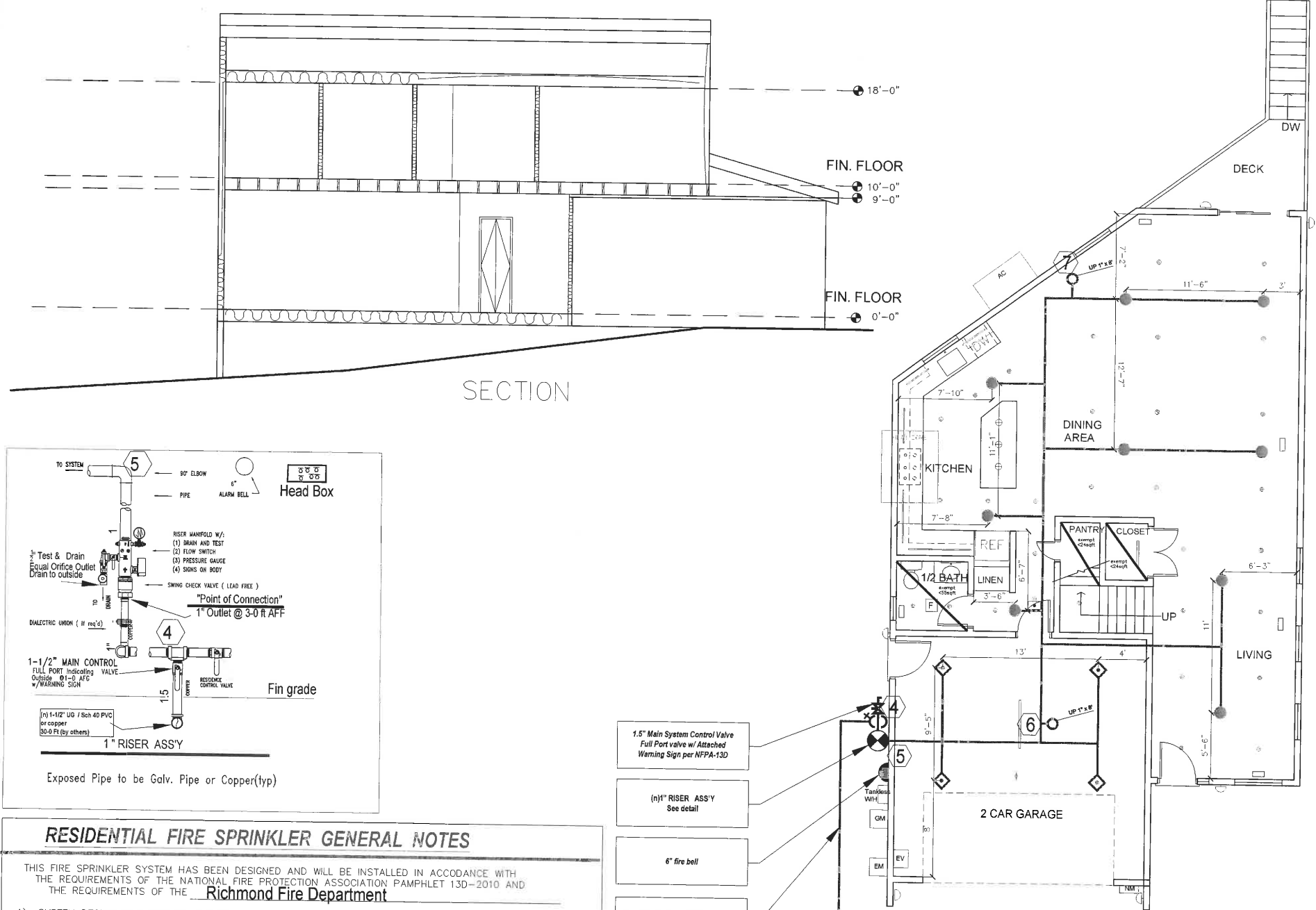
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FIRE PROTECTION

| |
|----------|
| DRAWN |
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| DATE |
| 12-12-18 |
| SCALE |
| NTS |
| JOB NO. |
| DIMMWAY |
| SHEET |

F-1

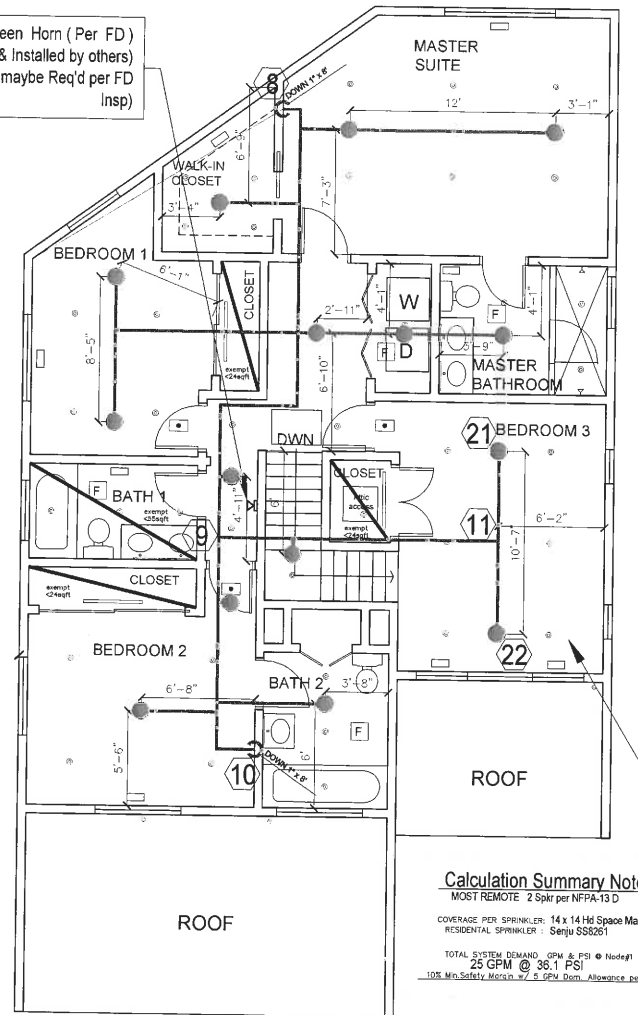


RESIDENTIAL FIRE SPRINKLER GENERAL NOTES

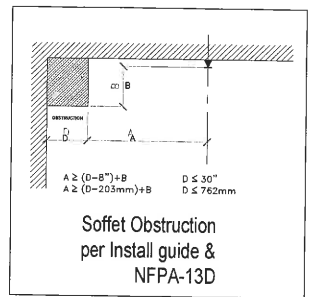
- THIS FIRE SPRINKLER SYSTEM HAS BEEN DESIGNED AND WILL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION PAMPHLET 13D-2010 AND THE REQUIREMENTS OF THE **Richmond Fire Department**
- 1) SYSTEM DESIGN IS 2 SPRINKLER HYDRAULIC CALCULATION, INCLUDING A 10% SAFETY MARGIN, w/ 5 GPM Allowance for Domestic use. *****SEE CALC SUMMARY NOTE*****
 - 2) QUICK RESPONSE RESIDENTIAL FIRE SPRINKLERS TO BE USED THROUGHOUT THE ENTIRE RESIDENCE. MAXIMUM SPRINKLER SPACING TO BE: **14 X 14 (196 Sq.ft. / Hd Max.)**
 - 3) THE MAXIMUM DISTANCE BETWEEN ANY TWO SPRINKLERS TO BE 14'-0".
 - 4) THE MINIMUM DISTANCE BETWEEN ANY TWO SPRINKLERS TO BE 8'-0".
 - 5) THE MAXIMUM DISTANCE FROM ANY WALL TO BE 7'-0".
 - 6) 1" CPVC PIPE TO BE USED THROUGHOUT THE RESIDENCE.(UNO)
 - 7) THE RISER ASSEMBLY TO BE SCHEDULE 40 PIPE OR ACCEPTED EQUAL. SEE RISER DETAIL.
 - 8) UNDERGROUND PIPING TO BE MINIMUM: AS-SHOWN.
 - 9) THE ACTUAL SPRINKLER LOCATION AND PIPING LOCATION MAY VARY DUE TO EXISTING CONDITIONS. INSTALLATION NOT TO EXCEED MANUFACTURERS INSTALLATION SPECIFICATIONS.
 - 10) THE FIRE SPRINKLER CONTRACTOR TO PROVIDE SPRINKLER HEAD BOX, INCLUDING EXTRA SPRINKLERS

- 1.5" Main System Control Valve Full Port valve w/ Attached Warning Sign per NFPA-13D
- (n) 1" RISER ASS'Y See detail
- 6" fire bell
- (n) 1-1/2" US / Sch 40 PVC or copper (55 ft, by others)
- 3/4" water meter upgrade - (BADGER mod 35, 25 GPM @ -8PSI)
- (n) 0.75" Water Service Copper Type K 10 ft
- city water main

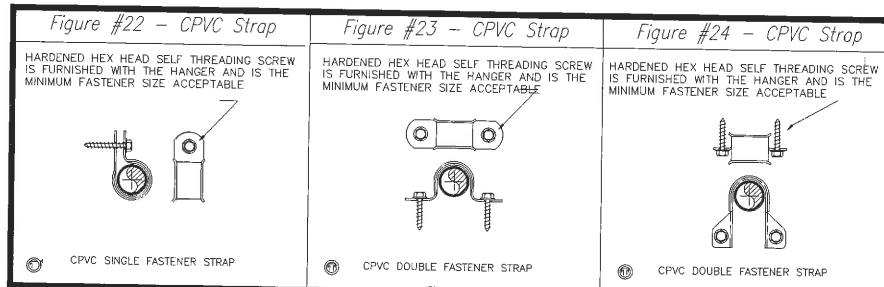
FIRST FLOOR PLAN



SECOND FLOOR PLAN



Calculation Summary Note
 MOST REMOTE: 2 Spr per NFPA-13 D
 COVERAGE PER SPRINKLER: 14 x 14 Hd Space Max.
 RESIDENTIAL SPRINKLER: Senju SS8251
 TOTAL SYSTEM DEMAND: GPM & PSI @ Node#1 (SOURCE)
 25 GPM @ 38.1 PSI
 105 Min. Safety Margin w/ 5 GPM Dom. Allowance per FD



General Hanger Notes

1. A Tolco "Double Fastener" Figure #23 Pipe Strap, attached to the wood member, using the Hex Head Screws supplied by the manufacturer (refer to detail).
2. A Tolco "Single Fastener" Figure #22 Pipe Strap, attached to the wood member, using the Hex Head Screws supplied by the manufacturer (refer to detail).
3. A Tolco "Side Mount Double Fastener" Figure #24 Pipe Strap, attached to the wood member, using the Hex Head Screws supplied by the manufacturer (no detail available).

BUILDING CONSTRUCTION NOTES

Building Occupancy: SINGLE FAMILY DWELLING
 System Hazard: NFPA-13D LIGHT HAZARD
 Fire Dept:
 Phone:
 Pipe Type: CPVC
 Ceiling Type: GIP - BD
 Ceiling Height: 9'-0 FT.
 Contractor:

FLOW TEST INFO.

Static Pressure 84 PSI
 Residual Pressure 84 PSI
 GPM Flowing: 100 GPM
 Test Dt: 1/14/2019

PLAN SYMBOLS

- Upright (on top)
- Pendent (on line)
- Upright (uprig)
- Pendent (with drop)
- Horizontal Screw
- Upright and Pendent
- Special Head (see notes)
- Hydraulic Calculation Node Point
- CUT ON LOG
- Riser Location
- Hanger Location
- Standard Coupling Location
- Zero-Flex Coupling Location
- Line # (stack listing)

SPRINKLERS

| SYMBOL | BRAND | MODEL | TYPE | Orifice | SN # | K-Factor | TEMP | FINISH | Esc. | Qty |
|------------------------|-------|--------|------|---------|--------|----------|------|-----------|-------|-----|
| SE | Senju | RC-100 | Conc | 1/2" | SS8464 | 4.5 | 200 | White | 0 | 2 |
| RE | Senju | RC-100 | Conc | 1/2" | SS8261 | 3.7 | 180 | White | 0 | 2 |
| RE | Senju | RC-100 | Conc | 1/2" | RA1414 | 4.2 | 150 | TFE-White | White | 0 |
| RE | Senju | RC-100 | Conc | 1/2" | RA1425 | 5.6 | 200 | Brass | 0 | 0 |
| RE | Senju | RC-100 | Conc | 1/2" | R3516 | 3.7 | 180 | White | White | 4 |
| RE | Senju | RC-100 | Conc | 1/2" | TY1354 | 4.2 | 150 | White | White | 0 |
| TOTAL FOR THIS PROJECT | | | | | | | | | | 26 |

MIKE FIRE PROTECTION, INC.

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NFPA-13D (2016 EDITION) FIRE PROTECTION PLAN

6001 Dimm Way, Richmond, CA 94805

DATE: January 22, 2018
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